



CITY OF WARRENTON

Warrenton Planning Commission

Agenda
September 8, 2016

1. Note Attendance
2. Flag Salute
3. Public Hearing: Consideration of Fisherman's Storage Conditional Use Permit and Site Design Review Applications

Action Item

4. Discussion of methods to facilitate housing development
5. Approval of minutes of August 11, 2016 meeting.

Action Item

6. Other business.
7. Adjourn



CITY OF WARRENTON

September 2, 2016

To: Warrenton Planning Commission

From: Skip Urling, Community Development Director

Re: Fisherman's Storage Site Design Review and Conditional Use Applications

Paul Leitch has applied for commercial site design review and a conditional use permit to develop a 73 unit metal building mini-storage facility with unit sizes of 10x10 feet, 10x15 feet, and 10x20 feet. Some units will be accessed from interior man doors and some will be access from exterior roll-up doors. Approximately 3,500 cubic yards of fill was placed onsite in 2013; an additional 438 CY is proposed to bring the site to finished grade. The facility will be accessed from the north at Railroad Avenue via NE Iredale Avenue. Internal driveways are proposed initially as gravel, with a financial security to the city for future paving. The subject property is identified as Tax Lots 81022BD05300, 5200, 3700, 3800, and 3900, and is located on the 900 block of E Harbor Street east of NE Iredale Avenue.

The applications were submitted February, 2014 and the site plan has been undergoing design changes over the last two years; they were deemed complete December 8, 2015. The Planning Commission held a public hearing in January, 2016, where several issues were raised. The applicant has been re-revising the application since that time in an attempt to address those issues. Notice of the September 8 public hearing was mailed to adjacent property owners August 19th, and published August 26th in The Columbia Press.

The proposal is reviewed as a Type III application under Warrenton Municipal Code (WMC) Chapter 16.40 General Commercial Zoning District, Chapter 16.88 Flood Hazard Overlay Zoning District, Section 16.208.040 Type III Procedure (Quasi-Judicial), Chapter 16.212 Site Design Review, Chapter 16.220 Conditional Use Permits, Chapter 16.120 Access and Circulation, Chapter 16.124 Landscaping, Street Trees, Fences and Walls, Chapter 16.128 Vehicle and Bicycle Parking, Chapter 16.140 Storm water and Surface Water Management, and Chapter 16.152 Grading, Excavating and Erosion Control Plans.

FINDINGS

1. Land Use: The subject property is undeveloped, but has filled placed on it to raise the site elevation to meet the flood elevation standards. Adjacent uses are:
 - a. North: undeveloped and mini-storage
 - b. East: Single Family Residential
 - c. South: Commercial and undeveloped

d. West: dilapidated single family residential

2. Zoning: The subject and adjacent properties are zoned C-1, General Commercial; mini-storage facilities are permitted as a Conditional Use.

3. WMC 16.220.030 Conditional Use Review Criteria

A. Before a conditional use is approved findings will be made that the use will comply with the following standards:

1. The proposed use is in conformance with the Comprehensive Plan.

Applicant Response: The comprehensive plan allows for "Mini-storage" units in the area. There are existing units just to the north.

Staff Finding: The comprehensive plan map designation is Urban Development Other Shorelines which contemplates a variety of urban land uses, but does not specifically allow mini-storage.

2. The location, size, design and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on, surrounding properties.

Applicant Response: This shall be single story and matching in design material and methods to those buildings in the area.

Staff Finding: Staff concurs.

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

Applicant Response: There will be no more than 8-10 daily traffic visitors per day as equal to the existing in the area. The existing streets can accommodate the demand.

Staff Finding: The Institute of Traffic Engineers *Trip Generation [manual] 7th Edition* estimates average weekday trip generation for mini-warehouses at 0.28 trips/unit; in this case 20.44 daily trips for the facility. Week day peak hour traffic is estimated at 0.03 trips/unit, or 2.19 trips for the facility. Local streets should not be adversely affected.

4. Public facilities and services are adequate to accommodate the proposed use.

Applicant Response: We will require a single ½-inch water meter for a single hose bibb and no sewer.

Staff Finding: The proposal will place only a small demand on public utilities.

5. The site's physical characteristics, in terms of topography, soils and other pertinent considerations, are appropriate for the use.

Applicant Response: The site soils and drainage are appropriate for this use. We will design for off-site drainage and will require soils testing for construction.

Staff Finding: The site has been filled to raise it so the buildings can be above the 100-year floodplain. The fill material is adequate to accommodate proposed buildings and use, subject to the requirements of the building code.

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for appropriate access points, on-site drives, public areas, loading areas, storage facilities, setbacks and buffers, utilities or other facilities which are required by City ordinances or desired by the applicant.

Applicant Response: The existing site will accommodate the planned buildings and all required parking.

Staff Finding: The proposal proposed design appears to accommodate the buildings and parking, satisfies the fire department requirements for a 45-foot turning radius for fire trucks at the entrance or the internal corners and the 150-foot access standard.

The Fire Chief commented that a minimum fire flow of 1500 GPM will be required and that a new fire hydrant may be required. The existing hydrant must be flow tested at the expense of the applicant and witnessed by fire department personnel. If a new hydrant is necessary, it must be a Mueller 2500 Centurion with 2 2.5-inch ports, and 1 4.5-inch discharge port; the location must be approved by the Fire Department.

4. WMC 16.212.040.C Site Design Review Criteria. The Community Development Director shall make written findings with respect to all of the following criteria when approving, approving with conditions, or denying an application:

1. The application is complete, as determined in accordance with Chapter 16.208 and subsection B of this section.
2. The application complies with all of the applicable provisions of the underlying land use district (Division 2), including building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other special standards as may be required for certain land uses.

Section 16.212.040.B generally refers to the design criteria and standards of Division 3 of the development code.

1. WMC 16.40.040 General Commercial Development Standards

The following development standards are applicable in the C-1 zone:

A. Density Provisions.

1. Minimum lot size, commercial uses: none.
2. Minimum lot width, commercial uses: none.
3. Minimum lot depth, commercial uses: none.
4. Maximum building height: 45 feet.
5. Commercial uses, maximum lot coverage: none.

B. Setback Requirements.

1. Minimum front yard setback, commercial uses: none except where adjoining a residential zone, in which case it shall be 15 feet. See Section 16.40.050 for maximum front yard setback for commercial uses.
2. Minimum side and rear yard setbacks, commercial uses: none except where adjoining a residential zone in which case there shall be a visual buffer strip of at least 10 feet wide to provide a dense evergreen landscape buffer which attains a mature height of at least eight feet. Such buffers must conform to the standards in Chapter 16.124, Landscaping, Street Trees, Fences and Walls.

C. Landscaping requirements shall comply with Chapter 16.124 of the Development Code.

Applicant Response: None

Staff Findings: The proposal conforms with the General Commercial development standards.

2. WMC 16.88.040.G Flood Hazard Overlay District Standards for Flood Hazard Reduction, G. Specific Standards, Residential and Nonresidential Construction. In all areas of special flood hazards (FH overlay district) where base flood elevation data has been provided as set forth in Section 16.88.020, the following provisions shall apply unless a variance is granted in accordance with Section 16.88.030 and Chapter 16.272.

2. Nonresidential Construction.

a. New construction and substantial improvement of any commercial, industrial, or other nonresidential structure shall either have the lowest floor, including basement, elevated to a minimum of one foot above the base flood elevation; or, together with attendant utility and sanitary facilities, shall:

i. Be flood proofed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water;

ii. Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy;

iii. Be certified by a registered professional engineer or architect that the design and methods of construction are in accordance with accepted standards of practice for meeting provisions of this subsection based on their development and/or review of the structural design, specification and plans. Such certifications shall be provided to the building official as set forth in Chapter 16.244;

iv. Nonresidential structures that are elevated, not flood proofed, must meet the same standards for space below the lowest floor as described in this section;

v. Applicants flood proofing nonresidential buildings shall be notified that the flood insurance premiums will be based on rates that are one foot below the flood proofed level (e.g., a building flood proofed to the base flood level will be rated as one foot below).

Applicant Response: None

Staff Finding: With the additional proposed fill, it appears that the buildings will meet the elevation requirement. This can be ensured at the building permit phase when an elevation certificate signed by a licensed surveyor or engineer will be required.

3. WMC 16.120.020 Vehicular Access and Circulation

L. Fire Access and Circulation. The City of Warrenton adopts the Uniform Fire Code, as amended, including administrative sections and all appendices and all the State of Oregon revisions. All development in the City of Warrenton is required to meet these minimum adopted standards.

1. Required Access. A fire equipment access drive that meets City construction standards shall be provided for any portion of an exterior wall of the first story of a building that is located more than 150 feet from an improved public street or approved fire equipment access drive. Plans for fire apparatus access roads shall be submitted to the Warrenton Fire Department and Warrenton City-appointed engineer for review and approval prior to issuance of building permits, grading permits, or start of construction. When fire apparatus access road(s) are required, the road(s) shall be installed and made serviceable prior to and during time of construction. Fire department access roads shall be provided and maintained in accordance with the fire department access requirements of the Uniform Fire Code, as amended.

2. Dimensions. Fire apparatus roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. Fire apparatus roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities.

3. Turnaround Required. Dead-end fire apparatus roads in excess of 150 feet shall be provided with approved provisions for the turning around of fire apparatus. See Table 16.136.010 for minimum standards.

4. Grade. The gradient for a fire apparatus access road shall not exceed 12% except that isolated segments no longer than 250 feet may have grades up to 15% upon approval by the Warrenton Fire Chief. Non-fire apparatus access roads (driveways and private streets) shall maintain a maximum grade of 15% unless otherwise approved by the Warrenton City-appointed engineer. See Table 16.136.010 for other applicable standards.

Applicant Response: None

Staff Finding: As stated above, the present design meets the code standards.

6. WMC 16.120.020. O. Construction. The following development and maintenance standards shall apply to all driveways, parking areas, and private streets in the City of Warrenton:

1. Surface Options. All driveways, parking areas, aisles, and turn-a-rounds in the City of Warrenton shall be paved with asphalt, concrete, or other comparable surfacing. A durable non-paving material may be used for driveways and private streets that serve three or fewer residential dwelling units and in other instances where the need to reduce surface water runoff and protect water quality can be demonstrated through adequate findings of fact submitted by the applicant and/or property owner as part of the development proposal. All paving and non-paving surfaces shall meet City construction standards and shall be subject to review and approval by the Community Development Director, City-appointed engineer, and/or Planning Commission.

2. Surface Water Management. All driveways, parking areas, aisles and turn-a-rounds shall have on-site collection or infiltration of surface waters to eliminate sheet flow of such waters onto public rights-of-way and abutting property. Surface water facility plans shall be prepared by a qualified person and constructed in conformance with City standards. Such plans shall attempt to follow the principle that water falling on a given site should be absorbed or retained on-site to the extent that the quantity and rate of water leaving the site after the development would not be significantly different than if the site had remained undeveloped

Applicant Response: The applicant proposes internal gravel driveways with the initial construction, and a performance bond to the city to insure future paving.

Staff Finding: Staff finds this bonding arrangement acceptable, provided the driveways are paved within 1 year of building permit issuance. A stormwater plan is included in the application package which the City Engineer finds inadequate and non-compliant with the development code and Public Works Engineering Design standards. However, he opines that the deficiencies can be corrected.

7. WMC 16.124.070 New Landscaping

This section of the code requires 15 percent of commercial sites to be landscaped, and provides other standards and guidelines for various types of vegetation and sizes to be used.

Applicant Response: The applicant proposes installing flowering cherry trees with a two-inch diameter at breast height. Shrubs will be pieris japonica in five gallon containers. A performance and maintenance bond will be provided to the city to ensure maintenance and survivability of the vegetation for two years after planting.

Staff Finding: The vegetation plan conforms to the code requirements.

8. WMC 16.128.030.A Off-Street Parking Requirements

Warehousing, including mini-storage warehouses	1 space per 1,000 sq. ft. of gross floor area or for each 2 employees, whichever is greater, plus 1 space per company vehicle
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Applicant Response: The application drawing notes that the mini-storage buildings will make up 12,800 square feet of floor space. The drawing shows five parking spaces.

Staff finding: Strict interpretation of the code will require 11 vehicle parking places. However, mini-warehouse users typically park in front their units, provided access is via a roll-up door. In this case, 40 of the units will be accessed via an internal corridor and man doors. Because of the anticipated low traffic generation associated with mini-storage, staff believes the parking standard is satisfied.

9. WMC 16.1228.040. Bicycle Parking Requirements

2. Parking Lots. All public and commercial parking lots and parking structures provide a minimum of one bicycle parking space for every 10 motor vehicle parking spaces, with a maximum of 28 bicycle parking spaces per commercial lot.

Applicant Response: One bicycle parking space is provided.

Staff Finding: This criterion is satisfied.

10. WMC 16.140 Storm water and Surface Water Management.

Applicant Response: The applicant provided a storm water management plan which stated that the site is in an area that is tidally influenced and that surface water in the vicinity could be flowing in either direction, depending on the tide.

Staff Finding: The information presented doesn’t meet the City minimum stormwater requirements or other requirements that have been discussed with the development team. I believe an adequate stormwater report can be prepared to address this proposed development. Because of this, I suggest the project be conditionally approved. Construction shall not begin until after a stormwater plan and report has been submitted to the City. These plans and report shall be approved by the City Engineer prior to any additional work starting on the site. This includes grading, foundation and road work.

The design shall also include the conveyance of stormwater from the existing stormwater ditch that runs along E Harbor Dr. through tax lots 081022BD05100 and 081022BD05200, and any other runoff flowing from west to east between Railroad Ave and E Harbor Dr and affected by the subject property fill, to the existing drainage system located on tax lot 081022BD02600 to the north. In addition, the existing ditch systems located on the development site, including the ditch adjacent to East Harbor Drive, shall be cleaned and maintained to promote drainage of the surrounding area and businesses.

11. WMC 16.152 Grading, Excavating and Erosion Control Plans

Staff Finding: Approximately 3,500 CY of fill has been placed on the site and another 438 yards is proposed to bring the site to finished grade in compliance with the floodplain regulations. The additional grading can be reviewed as a grading permit under the building code. Staff notes that the proposal includes a retaining wall to support the existing and additional fill.

CONCLUSIONS AND RECOMMENDATION

The latest design iteration for the Fisherman's Storage mini-storage meets the city's applicable design standards with the exception of the management of stormwater, which the city engineer has offered appropriate conditions for remedy. Staff further believes that the application demonstrates consistency with the conditional use criteria. Accordingly, staff recommends that Mr. Lietch's applications should be approved with conditions.

Recommended motion:

Based on the findings and conclusions of the September 2, 2016 staff report, I move to approve the conditional use permit and site design review for Fisherman's Storage mini-storage, subject to the following conditions:

1. The applicant shall submit a bond or other financial surety for 125 percent of the city engineer approved construction cost of paving the on-site driveways of the mini-storage facility. The bond shall be for one year.
2. The applicant shall provide documentation from a registered engineer that NE Iredale Avenue and Railroad Avenue meet the city adopted fire code street access standards.

- 3. Construction shall not begin until after a stormwater plan and report has been submitted to the City. These plans and report shall be approved by the City Engineer prior to any additional work starting on the site. This includes grading, foundation and road work. The design shall also include the conveyance of stormwater from the existing stormwater ditch that runs along E Harbor Dr. through tax lots 081022BD05100 and 081022BD05200, and any other runoff flowing from west to east between Railroad Ave and E Harbor Dr and affected by the subject property fill, to the existing drainage system located on tax lot 081022BD02600 to the north. In addition, the existing ditch systems located on the development site, including the ditch adjacent to East Harbor Drive, shall be cleaned and maintained to promote drainage of the surrounding area and businesses.

Enclosures

- Drawing set
- Correspondence

Skip Urling

From: Richard Stelzig
Sent: Friday, September 02, 2016 3:00 PM
To: Skip Urling
Subject: RE: fisherman's storage

Skip,

I have reviewed the stormwater information presented on the Fisherman’s Storage plans and calculations. The information presented doesn’t meet the City minimum stormwater requirements or other requirements that have been discussed with the development team. I believe an adequate stormwater report can be prepared to address this proposed development. Because of this, I suggest the project be conditionally approved. Construction shall not begin until after a stormwater plan and report has been submitted to the City. These plans and report shall be approved by the City Engineer prior to any additional work starting on the site. This includes grading, foundation and road work.

The design shall also include the conveyance of stormwater from the existing stormwater ditch that runs along E Harbor Dr. through tax lots 081022BD05100 and 081022BD05200, and any other runoff flowing from west to east between Railroad Ave and E Harbor Dr and affected by the subject property fill, to the existing drainage system located on tax lot 081022BD02600 to the north. In addition, the existing ditch systems located on the development site, including the ditch adjacent to East Harbor Drive, shall be cleaned and maintained to promote drainage of the surrounding area and businesses.

Richard “Collin” Stelzig, PE | City Engineer | City of Warrenton
45 SW 2nd St. | P.O. Box 250 | Warrenton, OR 97146
Office: (503) 861-0912 | Fax: (503) 861-9661
rstelzig@ci.warrenton.or.us | www.ci.warrenton.or.us

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From: Skip Urling
Sent: Wednesday, August 17, 2016 11:34 AM
To: Richard Stelzig <rstelzig@ci.warrenton.or.us>
Subject: FW: fisherman's storage

From: Mark Ellingson [<mailto:mse@pacnweng.com>]
Sent: Wednesday, August 10, 2016 6:10 AM
To: Skip Urling
Subject: Re: fisherman's storage

Mark Ellingson, PE
Pacific NorthWest Engineering, Inc.
(503) 873-3184

From: [Skip Urling](#)
Sent: Tuesday, August 09, 2016 1:20 PM
To: mse@pacnweng.com
Subject: fisherman's storage

Haven't seen your email yet.

Skip Urling
Community Development Director
City of Warrenton
503.861.0920

Skip Urling

From: CASWELL Matthew C <Matthew.C.CASWELL@odot.state.or.us>
Sent: Monday, August 29, 2016 1:06 PM
To: Skip Urling
Cc: KEARNS Richard A; WILLIAMS Virginia L; MCFADDEN David J
Subject: DRS 7330 - Fisherman's_Storage
Attachments: S-1 S-2 S-3 S-4 L-1 FIRE (1).pdf; Fisherman's storage SDR & CUP hearing apo notice.pdf

Skip,
Thank you for the opportunity to review and comment on the attached land use notice. ODOT has no objections, conditions or requirements in regards to the mini storage, that is adjacent to Harbor Dr., and the issuance of a building permit for the mini storage.

Thanks,

Matt Caswell, P.E.
Oregon Department of Transportation
Development Review Coordinator
Region 2, 455 Airport Rd SE, Bldg. B
Salem, OR 97301-5395
503.986.2849 (Office)
503.986.2630 (FAX)
e-mail: matthew.c.caswell@odot.state.or.us



From: SCHATZ Duane **On Behalf Of** ODOT Reg 2 Planning Manager
Sent: Monday, August 22, 2016 11:20 AM
To: CASWELL Matthew C; FRICKE Daniel L
Subject: DRS 7330 - Fisherman's_Storage

Duane M. Schatz
Local Agency Program Assistant
ODOT Highway Region 2 Headquarters
455 Airport Rd., Bldg. B, Room 200
Salem, OR 97301-4989
Office Phone: (503) 986-6920
Duane.SCHATZ@odot.state.or.us

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From: Skip Urling [<mailto:cityplanner@ci.warrenton.or.us>]
Sent: Friday, August 19, 2016 1:56 PM



Warrenton Fire Department

P.O. Box 250 Warrenton, OR 97146-0250 503/861-2494 Fax 503/861-2351

MEMORANDUM

To: Skip Urling, Community Development Director
Date: August 31, 2016
From: Tim Demers, Fire Chief
Re: Fisherman's Storage site design review E Harbor Drive from 083116

ACCESS:

All points around the structure must be accessed within 150 feet. including inside aisles.

Access around the building perimeter in the form of a 4 foot wide walkway/sidewalk has been provided. Surface will need to be preapproved by the Fire Department. This will include the stair access and path to the South section of the structure from East Harbor Drive.

The Fire Department sees the driveway into the structure as a potential bottle neck in the event emergency vehicles need to access the site in an emergency. The aisles between the structures are a minimum of twenty feet wide and appear to be negotiable by fire apparatus. The aisle way will need to be signed no parking, fire lane if used as the turn around.

Corner radiuses of 45 feet or greater have been provided.

BUILDING ACCESS:

The building shall be provided with GE Supra lock box complete with keys for emergency entrance by Fire Department personnel. The exact location of the lock box shall be determined by the Fire Department prior to installation.

ALARM SYSTEM:

I would suggest that the building shall be fully alarmed and monitored with a fire alarm system that meets the requirements of NFPA 72, most current edition.

WATER SUPPLY:

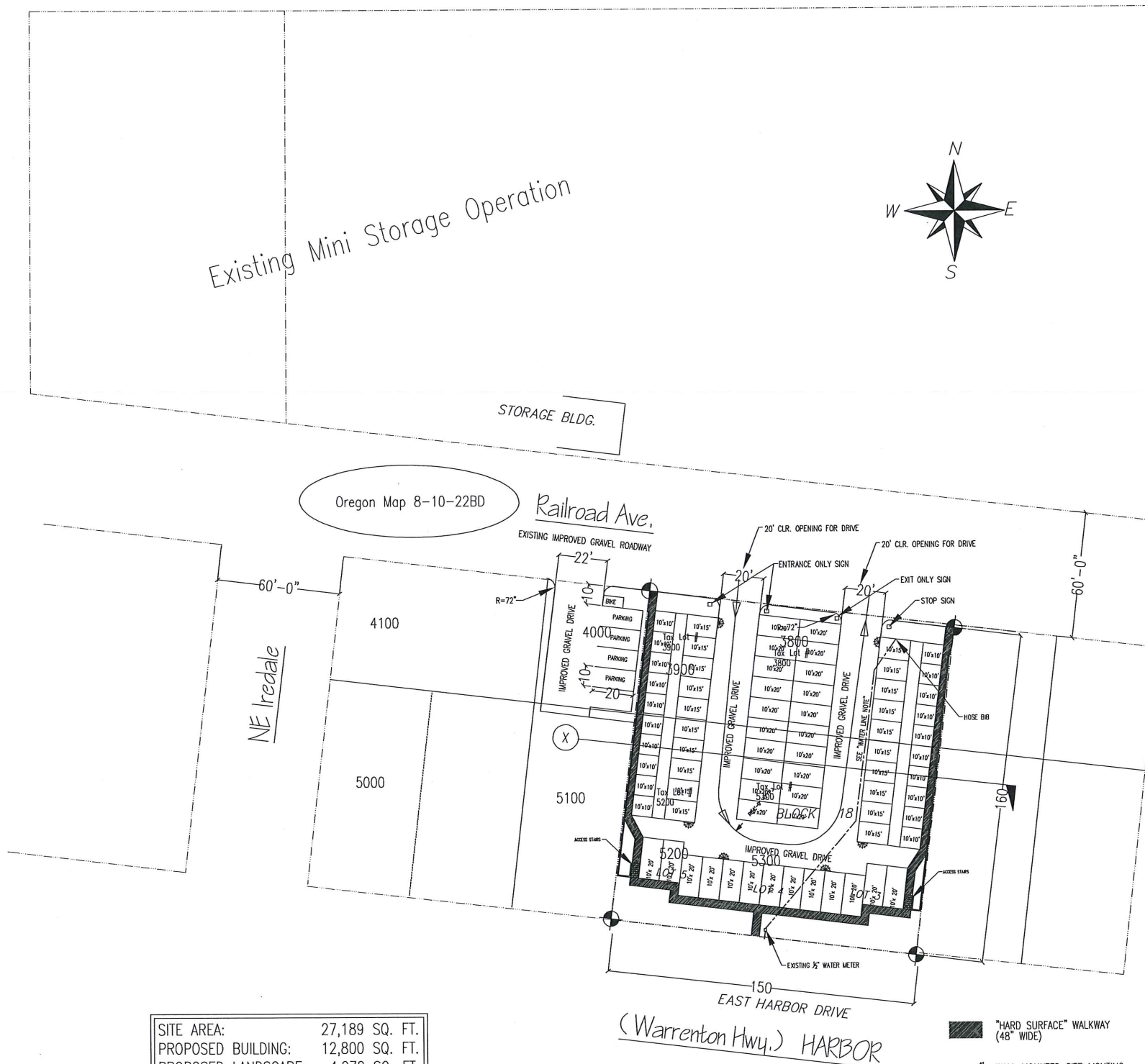
Water supply for the building will need to be calculated depending on the construction type.

A minimum fire flow of 1500 GPM will be required. A new fire hydrant may be required.

This hydrant shall be a Mueller 2500 Centurion with 2 each, 2.5 inch, and one each 4.5 inch discharge ports. Final fire hydrant locations shall be approved by the Fire Department.

ADDRESSING:

The building will be addressed with contrasting color letters placed on the building facing the Fire Department access. The Fire Department will approve the size, color and location of the address numbers.



SITE AREA:	27,189 SQ. FT.
PROPOSED BUILDING:	12,800 SQ. FT.
PROPOSED LANDSCAPE:	4,278 SQ. FT.
PROPOSED DRIVE:	8,703 SQ. FT.
PROPOSES "WALKWAY"	1,408 SQ. FT.
% LANDSCAPE	15.7%

SCOPE OF WORK

THE EXISTING SITE HAS 3,487 YARDS OF EXISTING FILL MATERIAL THAT HAS BEEN ADDED TO THE NATIVE ELEVATIONS. THIS FILL MATERIAL HAS BROUGHT THE SITE TO NEAR THE FINISH ELEVATIONS. THE DESIGN IS TO ADD APPROXIMATELY 438 CUBIC YARDS MORE OF FINISH MATERIAL TO FINISH THE PROPOSED ELEVATIONS AND DRAINAGE. THE EXISTING SITE HAS A DRAINAGE DITCH THAT RUNS ALONG THE WESTERLY PROPERTY LINE AND DRAINS INTO THE EXISTING WATERSHED. THIS DITCH WILL BE MAINTAINED AND SLIGHTLY DIVERTED TO ALLOW CONSTRUCTION IN THE SOUTHWESTERN CORNER OF THE SITE. THE PROPOSED LANDSCAPE AREA WILL CONTAIN THE PROPOSED LOCATION OF THE DRAINAGE DITCH. THERE WILL BE STEEL FRAMED STORAGE UNITS BUILT ON THE SITE AND GRAVEL PAVED DRIVE AREAS. (THE ONLY ON SITE PARKING WILL BE THE ONE AT THE MAIN ENTRANCE, FOR THE EMPLOYEE. ALL OTHER PARKING, BY DESIGN OF THE FACILITY, WILL BE IN FRONT OF EACH UNIT AND ONLY FOR THE MOMENT OF LOADING AND UNLOADING. THERE ARE TO BE NO ONSITE UTILITIES FOR OTHER THEN ELECTRICITY AND ONE ON-SITE HOSE BIB FOR CLEANING ONLY. THE SITE PAVING IS DEFERRED AND SHALL BE COVERED BY A PERFORMANCE BOND IN THE ESTIMATED AMOUNT OF THE PAVING COST.

RETAINING WALL NOTES:

THE SITE RETAINING WALLS ARE TO BE AS PER THE DETAILS SHOWN ON SHEET S-3. ALL FILL MATERIAL THAT HAS MIGRATED ONTO ADJACENT SITES ARE TO BE REMOVED AND RESTORED TO PREVIOUSLY EXISTING CONDITIONS.

PUBLIC UTILITY IMPACT:

THE PROPOSED DEVELOPMENT WILL HAVE VERY LITTLE IMPACT ON THE SEWER AND WATER FROM THE PUBLIC SYSTEM, THE ONLY WATER WILL BE FOR THE LANDSCAPE MAINTENANCE AND ONE HOSE BIB FOR CLEAN-UP ONLY. THERE WILL BE NO BATH ROOM FACILITIES ON THE SITE. THERE ARE STORM DRAINAGE CALCULATIONS AND A DESIGN FOR ALL REQUIREMENTS FROM THE POSSIBLE ADDITIONAL RUN-OFF DUE TO THE PROPOSED ADDED NON PERVIOUS AREAS. THESE AND THE "STORM DRAINAGE MANAGEMENT SYSTEM" ARE PRESENTED IN THIS APPLICATION.

ENTRANCE/EXIT VISIBILITY:

ALL ENTRANCE (AND EXISTS) SHALL MEET SECTIONS 16.120.020N AND 16.120K OF THE "MNC", BY VIRTUE OF ALL NEW PROPOSED LANDSCAPE SHALL BE LOW NON-OBTRUSIVE PLANTS AND THE EXISTING LANDSCAPE (EVEN OF ADJACENT PROPERTIES ALLOW VISIBILITY TO THE INTERSECTION).

ENGINEER OF RECORD:

PACIFIC NORTHWEST ENGINEERING, INC.
4242 SILVER FALLS DR. NE
SILVERTON, OR 97381
(MARK ELLINGSON, PE)
(503) 873-3184 (PH)
MSE@PACNWENG.COM

WATER LINE NOTE:

THE EXISTING 1/2" WATER METER IS ON THE SOUTH SIDE OF THE PROPERTY NEAR THE CENTER OF THE PROPERTY. INSTALL A NEW 3/4" DIAMETER SCHEDULE 40 P.V.C. LINE TO THE SHOWN LOCATION (APPROXIMATELY 150' IN LENGTH) AND INSTALL A NEW HOSE BIB. THE NEW LINE IS TO HAVE A MINIMUM OF 30" OF MATERIAL COVERING (DUE TO EXISTING SOILS CONDITIONS).

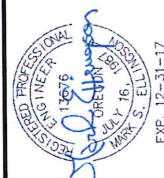
WET-LAND DELINEATION:

THE INITIAL SURVEY OF THE PROPERTY AND TAX LOT #812280400 SHOW THAT THERE IS A DRAINAGE LINE CROSSING THE PROPERTIES BUT THAT THERE IS NOT ANY "WET LANDS".

SITE PLAN
SCALE: 1"=30'-0"



Pacific NorthWest Engineering, Inc.
4242 Silver Falls Dr. N., Silverton, OR 97381
Ph. (503) 873-3184 MSE@PACNWENG.COM



Paul Leitch
600 NE Iredale St.
Warrenton, OR 97146

DATE: 07-26-2016

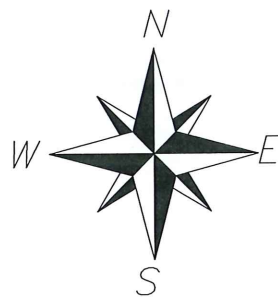
SCALE: 1"=30'-0"

DRAWN: MSE

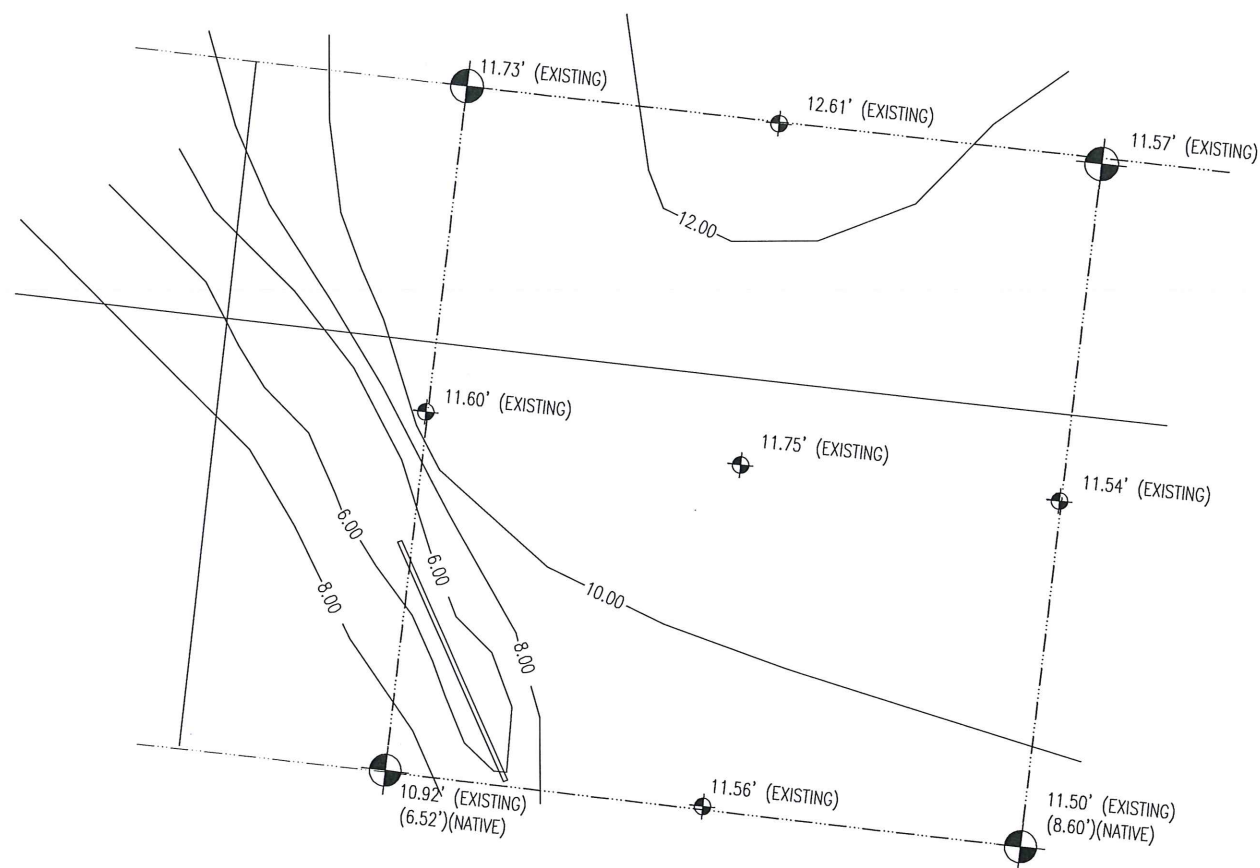
CHECKED: MSE

JOB: 16-374

SHEET
S-1



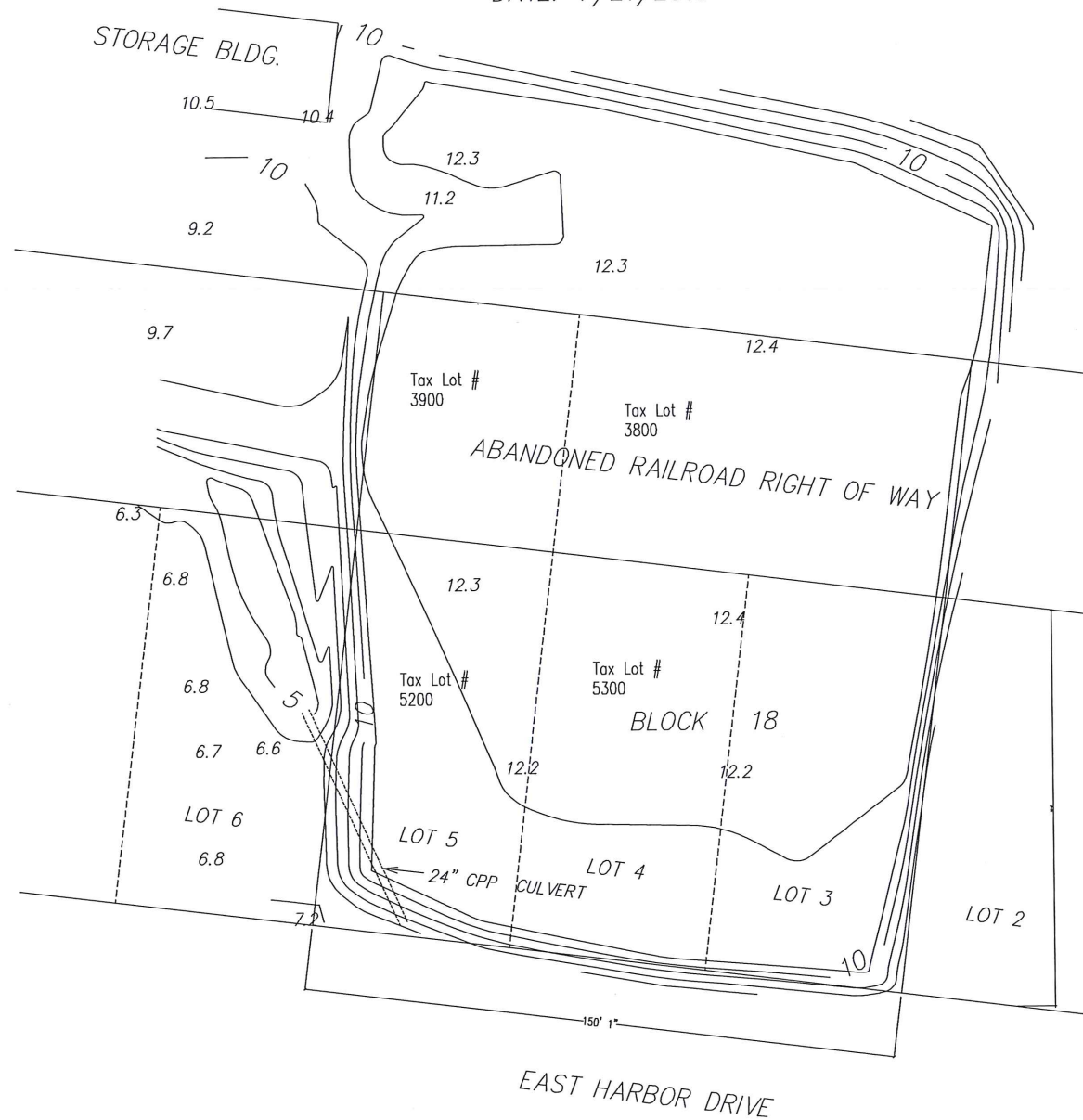
Railroad Ave.



(Warrenton Hwy.) HARBOR

EXISTING GRADING PLAN
(PRE-FILL CONDITIONS)
SCALE: 1"=20'-0"

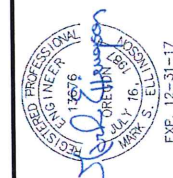
DATE: 7/21/2015



EXISTING GRADING PLAN
SCALE: 1"=20'-0"



Pacific Northwest Engineering, Inc.
4242 Silver Falls Dr. N., Silverton, OR 97381
Ph. (503) 873-3184 MSE@PACNWENG.COM



Paul Leitch
600 NE Iredale St.
Warrenton, OR 97146

DATE: 07-26-2016
SCALE: 1"=20'-0"
DRAWN: MSE
CHECKED: MSE
JOB: 16-374
SHEET

5-2

RETAINING WALL NOTES:

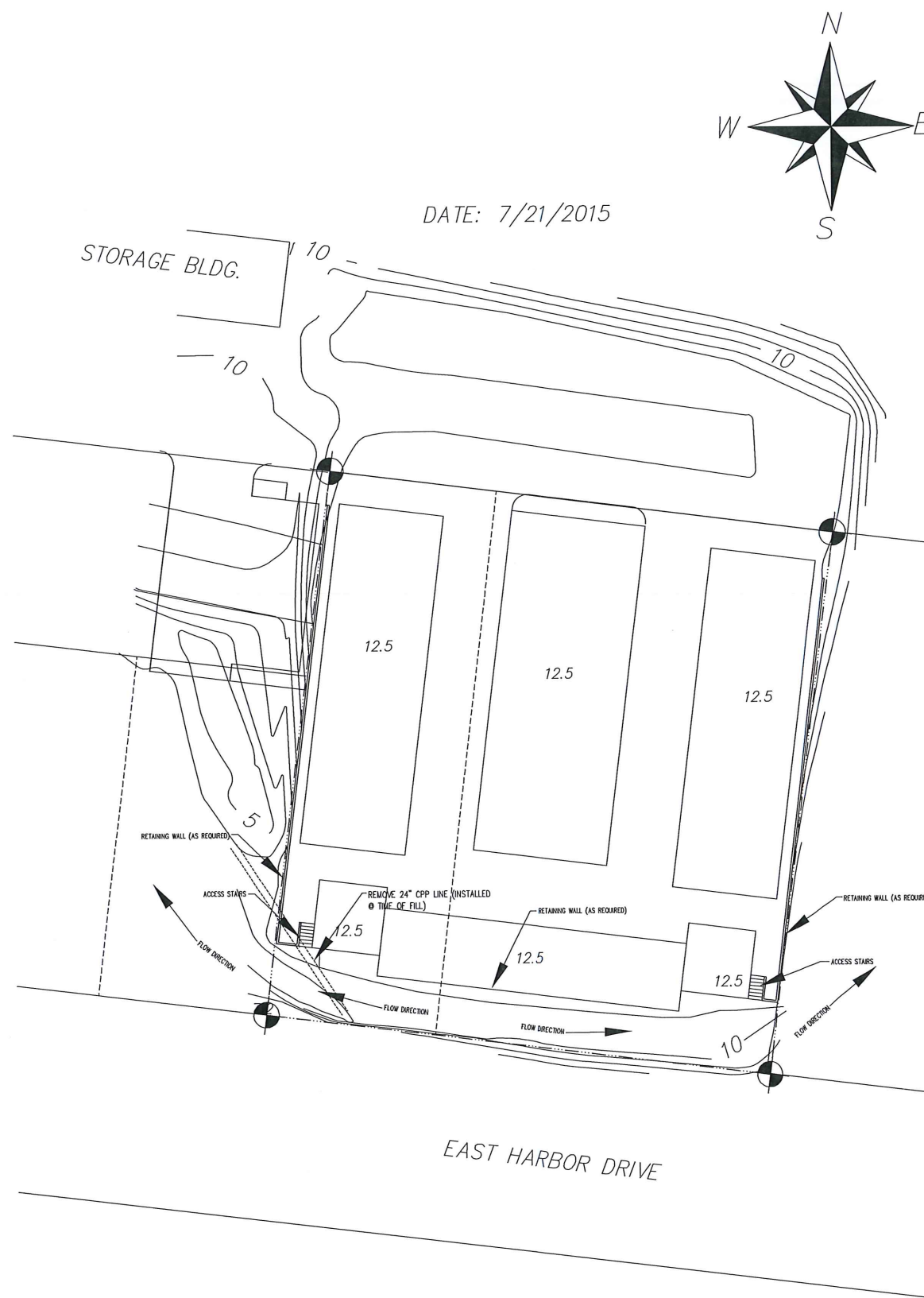
THE SITE RETAINING WALLS ARE TO BE AS PER THE DETAILS SHOWN ON SHEET S-3. ALL FILL MATERIAL THAT HAS MIGRATED ONTO ADJACENT SITES ARE TO BE REMOVED AND RESTORED TO PREVIOUSLY EXISTING CONDITIONS.

FLOW DERICTION NOTES:

THE DIRECTION ARROWS ARE SHOWN WITH AN OUTGOING TIDE. THIS AREA IS INFLUENCED BY THE TIDE AND THEREFORE COULD BE FLOWING IN EITHER DIRECTION IN ANY ONE GIVEN DAY.

STORM WATER CALCULATIONS:

AS SHOWN WITH THE STORM-WATER CALCULATIONS THE 378 CUBIC FEET OF 100 YEAR STORM IS INSIGNIFICANT TO THE AMOUNT OF WATER FROM THE DIFFERENCE OF "HIGH TIDE" AND "LOW TIDE" (108,756 CUBIC FEET OR 0.35%).



PROPOSED GRADING PLAN

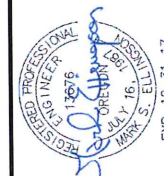
SCALE: 1"=20'-0"



Pacific NorthWest Engineering, Inc.

4242 Silver Falls Dr. N., Silverton, OR 97381

Ph. (503) 873-3184 MSE@PACNWENG.COM



Paul Leitch

600 NE Iredale St.

Warrenton, OR 97146

DATE: 07-26-2016

SCALE: 1"=20'-0"

DRAWN: MSE

CHECKED: MSE

JOB: 16-374

SHEET

S-4

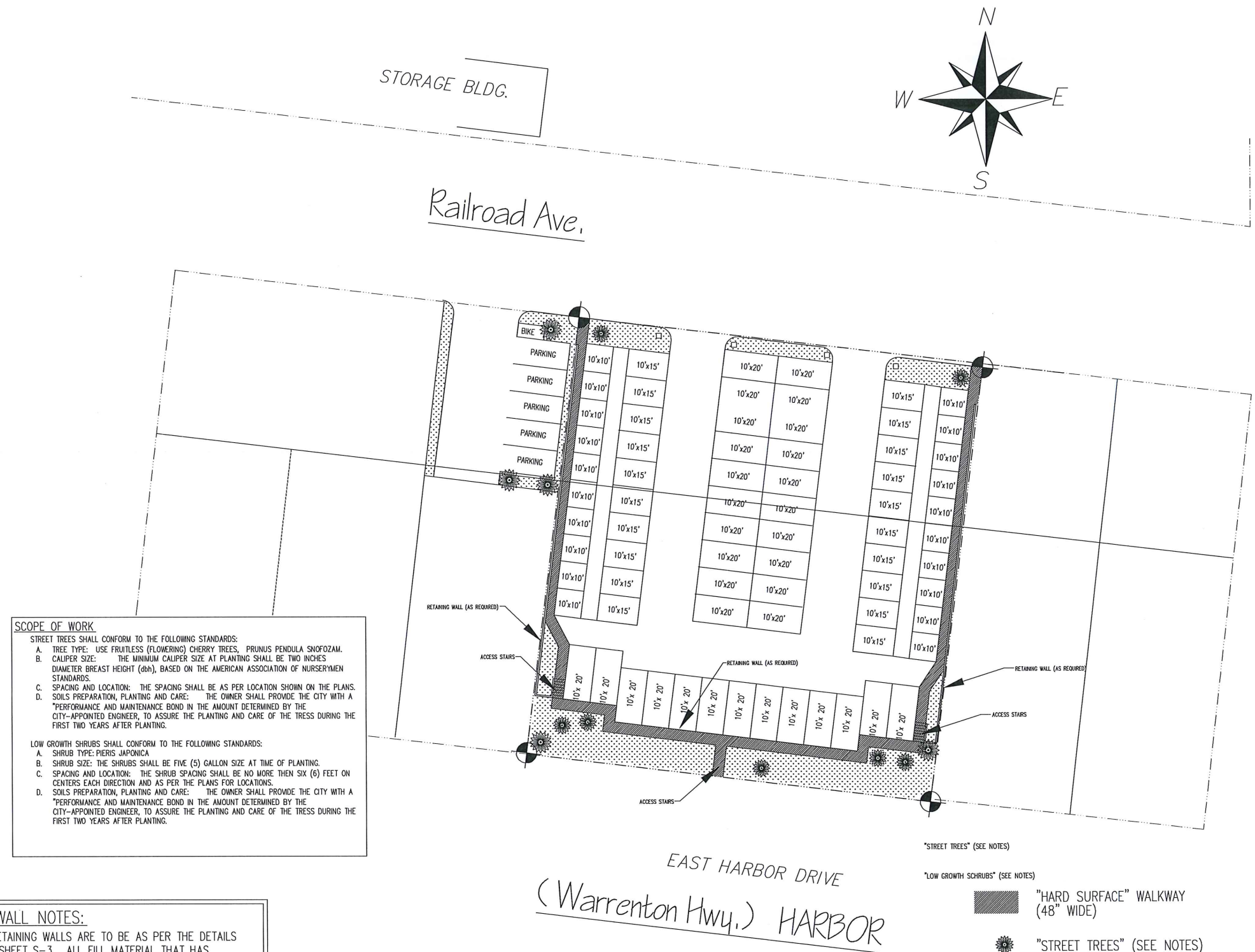


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CHECKED: MSE
JOB: 16-374
SHEET
L-1



SCOPE OF WORK.
STREET TREES SHALL CONFORM TO THE FOLLOWING STANDARDS:
A. TREE TYPE: USE FRUITLESS (FLOWERING) CHERRY TREES, PRUNUS PENDULA SNOFOZAM.
B. CALIPER SIZE: THE MINIMUM CALIPER SIZE AT PLANTING SHALL BE TWO INCHES
DIAMETER BREAST HEIGHT (dbh), BASED ON THE AMERICAN ASSOCIATION OF NURSEYMEN
STANDARDS.
C. SPACING AND LOCATION: THE SPACING SHALL BE AS PER LOCATION SHOWN ON THE PLANS.
D. SOILS PREPARATION, PLANTING AND CARE: THE OWNER SHALL PROVIDE THE CITY WITH A
"PERFORMANCE AND MAINTENANCE BOND IN THE AMOUNT DETERMINED BY THE
CITY-APPOINTED ENGINEER, TO ASSURE THE PLANTING AND CARE OF THE TREES DURING THE
FIRST TWO YEARS AFTER PLANTING.

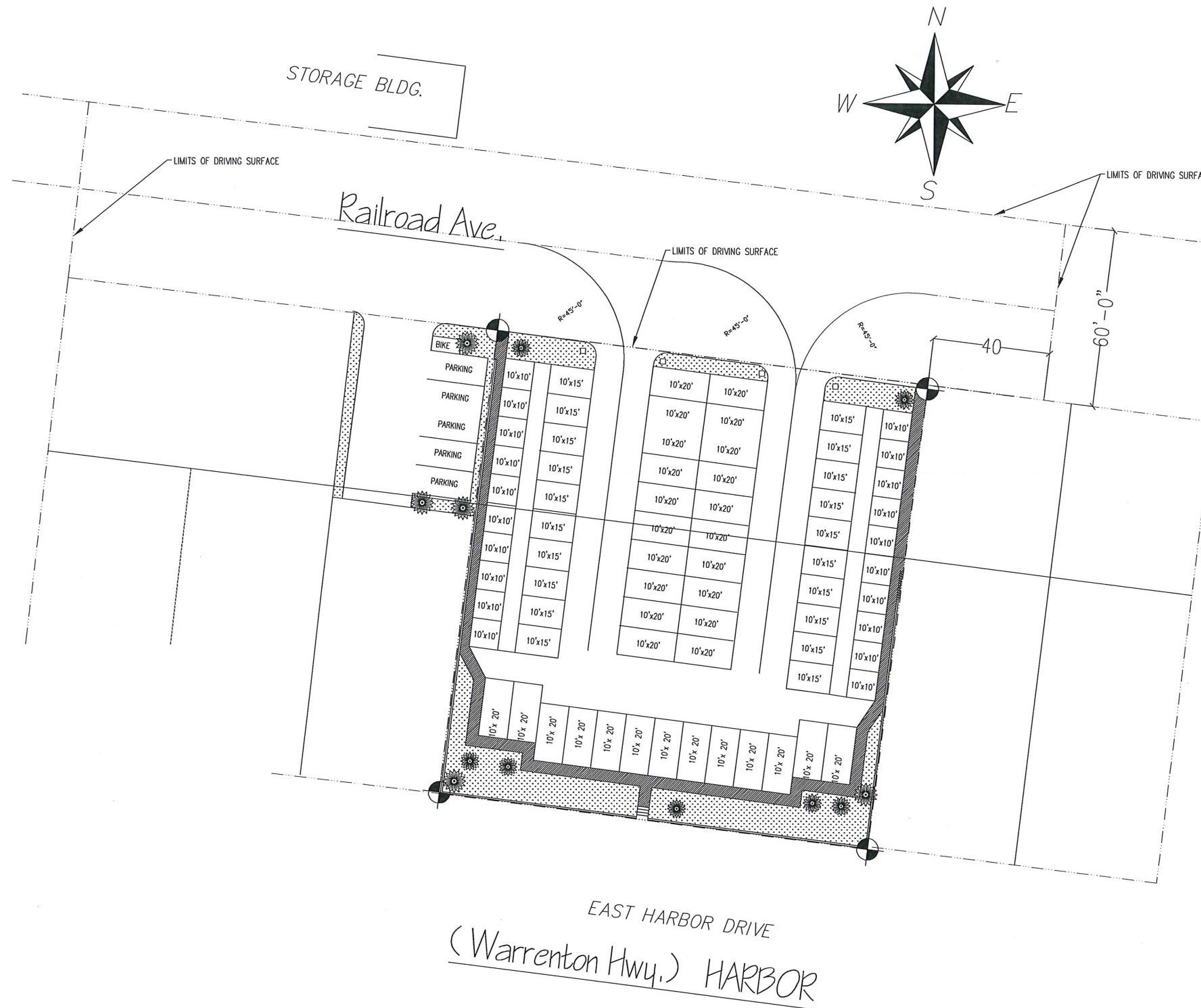
LOW GROWTH SHRUBS SHALL CONFORM TO THE FOLLOWING STANDARDS:
A. SHRUB TYPE: PIERIS JAPONICA
B. SHRUB SIZE: THE SHRUBS SHALL BE FIVE (5) GALLON SIZE AT TIME OF PLANTING.
C. SPACING AND LOCATION: THE SHRUB SPACING SHALL BE NO MORE THEN SIX (6) FEET ON
CENTERS EACH DIRECTION AND AS PER THE PLANS FOR LOCATIONS.
D. SOILS PREPARATION, PLANTING AND CARE: THE OWNER SHALL PROVIDE THE CITY WITH A
"PERFORMANCE AND MAINTENANCE BOND IN THE AMOUNT DETERMINED BY THE
CITY-APPOINTED ENGINEER, TO ASSURE THE PLANTING AND CARE OF THE TREES DURING THE
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RETAINING WALL NOTES:
THE SITE RETAINING WALLS ARE TO BE AS PER THE DETAILS
SHOWN ON SHEET S-3. ALL FILL MATERIAL THAT HAS
MIGRATED ONTO ADJACENT SITES ARE TO BE REMOVED AND
RESTORED TO PREVIOUSLY EXISTING CONDITIONS.

SITE AREA:	27,189 SQ. FT.
PROPOSED BUILDING:	12,800 SQ. FT.
PROPOSED LANDSCAPE:	4,278 SQ. FT.
PROPOSED DRIVE:	8,703 SQ. FT.
PROPOSES "WALKWAY"	1,408 SQ. FT.
% LANDSCAPE	15.7%

STAIR NOTE:
THE WALKWAY EXTENDS ALONG THREE SIDES OF THE BUILDING
AREA. THIS IS FOR THE FIRE ACCESS. THE BUILDING PAD
AND THE ROADWAY (WARRENTON HWY.) ARE ABOVE THE
ELEVATION OF THE WATER-PASSAGE AND THEREFORE REQUIRE
STAIRS FOR ACCESS. THIS WILL ALSO REQUIRE A RETAINING
WALL AT THE SOUTH SIDE OF THE OF THE BUILDING (AREA
EXPOSED TO VIEW FROM THE HWY.).

LANDSCAPE PLAN
SCALE: 1"=20'-0"

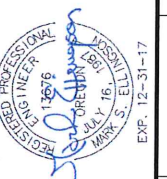


FIRE ACCESS

SCALE: 1"=20'-0"



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CHECKED: MSE
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SHEET
Fire



CITY OF WARRENTON

MINUTES

Warrenton Planning Commission Regular Meeting August 11, 2016

SDR 16-4 and VAR 16-1 Gramson Duplexes SW Kalmia Avenue Extension

Commissioners Present: Chair Chris Hayward, Commissioners Christine Bridgens, Ken Yuill, Ryan Lampi, Vince Williams, Mike Moha

Excused Absence: Vice-chair Paul Mitchell

Approval of Minutes: Commissioner Ken Yuill moved to approve the July 14, 2016 meeting minutes. Commissioner Ryan Lampi seconded. The motion passed unanimously.

Chair Chris Hayward opened the public hearing on the continuance and consideration of SDR 16-4 and VAR 16-1

Planning Director Skip Urling summarized the duplex extension that was started on the June 9, 2016 meeting. A request was made to keep the record open for written comments only. Anyone could comment on anything for the first week, then those who commented could comment again to anyone who submitted in the second week, and the third week comments from the applicant for rebuttal. Recommendation still remains the same that both applications be approved with one change to condition number one in regards to the slope. The south facing slope also has to be stabilized not just the west facing slope. Also a detailed storm water management plan be submitted and approved by the city engineer. The streets need to be widened by the two fire hydrants and a detailed landscaping plan needs to be submitted for approval.

Chair Chris Hayward wanted clarification on the park that was to be built. After his rebuttal, the applicant applied to build the park and it was denied. The facility things that were discussed at the meeting didn't appear to be the kind of things that the city wanted because of the maintenance that was to be required to keep them in good operating condition. The parks budget is stretched pretty thin right now.

Chris also wanted clarification on the rebuttal that the applicant is willing to address the parking issue by building additional parking on site. Skip referred to item five on page two where that was stated in a letter from CKI.

Chris asked if the parking requirements that they are proposing meets the code, and if we decide to approve this development can we make it a conditional of approval of additional

parking . Skip replied that if they had a finding that the parking is not adequate where that extra parking is required.

Commissioner Christine Bridgens spoke up and commented that the questions for needing extra parking highlights that the standards on that street are very inadequate for parking. The sidewalks will not be used for walking, they will have to be used for parking and even then if there were cars parked on both sides, there would be very little space for emergency vehicles or fire trucks. It's really stretching it to put in a condition for parking, are they going to want to do that. It's asking a lot of the renters there. The character of this community is single family dwellings. Driving down on that street already, they are parking on the sidewalks on the streets that are city streets. The standards of 20 feet or 24 feet is inadequate now with people having more cars. In a private street area it is much more difficult to be enforced and is unfair for the community.

Skip pointed out that one of the conditions of approval, there will be no parking signs posted on both sides of the streets because there is a minimal fire code of 20 feet for fire access. Looking at the site plan there appears to be enough room for parking at the end of the street designated for overflow parking . People would have to walk from the end of the road to one of the nine duplexes, but it can be accommodated.

Christine acknowledged the Police Chiefs report stating that he doesn't like this project because of the experience with private street issues come up and we need to respect what he is saying. The Fire Chief and also the City Engineer doesn't like this project.

Doesn't see the hardship for not being able to use this property. Thinks the hardship criteria has not been met. A reasonable use could be had for the property without building what he is planning.

Commissioner Ken Yuill also mentioned Police Chief Workman's statements that he compared this situation to Southwest 14th Street. In the evening of July 4th, there was a fire. Luckily there was another way in and out of there. With the fire truck in position, you couldn't get vehicles through. This is a little bit different from Mr. Gramson's position because the whole area is flat and vehicles can go around. But when you have a hillside on one side, you are not going to be able to move around. There is one way in and one way out. Biggest concern with all of the conditions, sometimes things slide through the cracks. The Bandeen family has owned that property for a long time. He wants to see the hillside totally stabilized. Wants an engineer look at it before he will be willing to grant a variance because of safety. Realizes this was put in as a condition, but this is a top priority . Strongly feels once this is met, then he would be willing to look at the variance, if not he would be against this.

Commissioner Mike Moha spoke up and said that there is only two ways out of there now. One of them goes down 1st Street, which doesn't know if that is a real road. And the other one is Gardenia which is all houses. There is no easy access in or out. It will add a lot more traffic to both those streets.

Christine pointed out that it is asking a lot more of our Police Department.

Planning Commissioner Christine Bridgens made the motion based on the findings plus the Fire Chief, the City Engineer, and Police Chief written statements, to deny the 16-4 Gramson duplexes SW Kalmia extension and the associated variance to the dead-end street. Planning Commissioner Mike Moha seconded. The motion passed unanimously to deny.

Other Business

Commissioner Christine Bridgens brought up that there is an investigation on the engineering and hydraulic reports of the 8th Street Dam. Would like to have the Planning Commission offer their support to the City Commission to continue that investigation. This came before us April, 2015. Paul Mitchell stated then that they did not have enough information on the dam and engineering reports to make a decision about this. We were going to continue it, then she thought that Crest withdrew.

Planning Director Skip Urling spoke up and said that Crest withdrew the application on the premises that they were going to have their engineer prepare for some more information.

Christine stated that it was not discussed again nor did we have a Planning Commission meeting for around three months.

They have been meeting in depth about this and there are a lot of serious questions about those reports that need to be clarified and investigated to bring out the truth for the City of Warrenton and especially the people along the dike on the Skipanon.

Commissioner Ken Yuill spoke up and has questions on the importance of the dam on the tsunami's. When the flood plain came out again this year, there was still no talk about it. Is very concerned that the City and Planning Commission have not received all the information that they should have.

Christine brought up that Crest or another engineering firm did three more and none of them were adequate and did not talk about the flood plains they were just talking about a narrow fish passage and did not address the flooding issue. Needs to give support to a continue the investigation.

Question was brought up as to who owns the dam and if it might be the city.

Skip replied that it was owned and operated by the Skipanon Water District.

Christine spoke up and voiced that is another issue that needs to be addressed and investigated.

Christine purposed that the Planning Commission give support to the Warrenton City Commissioner for the investigation of the engineering reports regarding the Warrenton 8th Street dam.

Commissioner Ken Yuill seconded. The motion passed unanimously.

Ken also added that having been around the dam since 1965, have never had these flooding issues when the dam was first put in and operated correctly. The last number of years when the tide gates were starting to work bad, and they held them open, this is when we had the flooding issues. It needs to be fully investigated before the dam is taken out and that means putting in those tide gates and having it operate how it was designed when it was built. Once that dam is gone you will never get the dam back in place. Need to take your time and bring it back to where it was actually functional in 1965. Do tests and open it up and see how it works the next year to see if there is a reason for it to stay there or be removed.

Discussion was brought up about the arguments that the audience had about the duplexes. One of them was that townhomes would be detrimental to the neighborhood. Chris thought that was not a valid point and wanted to bring that up. He had lived in an area once that had condos, apartments and duplexes with some of the nicest homes in town.

Ken brought up that if Mr. Gramson appealed and changed his design would he have to still come back to the commission for approval.
Skip reply was yes.

Meeting adjourned

Attest and submitted by:

Janice Weese, Building Clerk

Approved:

Chris Hayward, Planning Commission Chair