



AGENDA

WARRENTON PLANNING COMMISSION
Regular Meeting | May 9, 2024 | 6:00pm
Warrenton City Hall Commission Chambers | 225 S Main Avenue, Warrenton, OR 97146

*****The meeting will be broadcast via Zoom at the following link*****

<https://us02web.zoom.us/j/85142805492?pwd=bEhjejNHaFJSOHVnT0xOYktVZWx4UT09>

Meeting ID: 851 4280 5492 | Passcode: 12345 | Dial-in number: 253-215-8782

1. CALL TO ORDER & PLEDGE OF ALLEGIANCE

2. ATTENDANCE

3. APPROVAL OF MINUTES

- A. Planning Commission Regular Minutes – 3.14.24

4. PUBLIC COMMENT

At this time, anyone wishing to address the Planning Commission concerning items of interest may do so. The person addressing the Planning Commission must complete a Public Comment Card and submit it to the Secretary prior to the meeting. All comments will be addressed to the whole Planning Commission and limited to 3 minutes per person. Public Comments may also be submitted by email to planning@warrentonoregon.us, no later than 4:00 p.m. the day of the meeting. The Planning Commission reserves the right to delay any action, if required, until such time as they are fully informed on a matter.

5. PUBLIC HEARING

- A. SDR-24-1 & CUP-24-2 Mini-Storage Warehouse on tax lot 810340002301
- B. CUP-24-3 Short-Term Rental at 976 Fourth Avenue, Hammond
- C. CUP-24-4 Short-Term Rental at 960 Fourth Avenue, Hammond
- D. CUP-24-5 Short-Term Rental at 964 Fourth Avenue, Hammond
- E. CUP-24-6 Short-Term Rental at 968 Fourth Avenue, Hammond

6. BUSINESS ITEMS

- A. Planning Application Fee Schedule Discussion

7. DISCUSSION ITEMS

8. GOOD OF THE ORDER

9. ADJOURNMENT

Next Regular Meeting: June 13, 2024

Warrenton City Hall is accessible to the disabled. An interpreter for the hearing impaired may be requested under the terms of ORS 192.630 by contacting Dawne Shaw, City Recorder, at 503-861-0823 at least 48 hours in advance of the meeting so appropriate assistance can be provided.

MINUTES
 Warrenton Planning Commission
 April 11, 2024
 6:00 p.m.
 Warrenton City Hall - Commission Chambers
 225 S. Main
 Warrenton, OR 97146

Vice Chair Bridgens called the meeting to order at 6:00 p.m. and led the public in the Pledge of Allegiance.

Commissioners Present: Kevin Swanson, Christine Bridgens, Mike Moha, Jessica Sollaccio (virtually), Karin Hopper, and Cynthia O'Reilly

Absent: Chris Hayward

Staff Present: Planning Director Matthew Ellis, Interim City Planner Scott Fregonese (virtually) Planning Technician Rebecca Sprengeler, and Deputy City Recorder Hanna Bentley

3. APPROVAL OF MINUTES

Planning Technician Rebecca Sprengeler noted a correction to the meeting minutes.

A. Planning Commission Meeting Minutes – 3.14.24

Commissioner Swanson made a motion to approve the minutes as corrected. Motion was seconded and passed unanimously.

Swanson–aye; Bridgens-aye; Moha-aye; Sollaccio–aye; Hopper–aye; O’Reilly-aye

4. PUBLIC COMMENT ON NON-AGENDA ITEMS – None

5. PUBLIC HEARINGS – None

6. BUSINESS ITEMS – None

7. DISCUSSION ITEMS

A. Planning Commission Priorities for Planning Department

Planning Director Matthew Ellis. Mr. Ellis introduced himself. He would like to get an understanding of the Planning Commission’s priorities moving forward. He reviewed the status of current projects including the sign code update, shipping container ordinance, keeping of residential poultry ordinance, mini-storage cap ordinance, residential code audit grant from DLCD, and a fee resolution update.

Vice Chair Bridgens noted the property on E Harbor with derelict cars and asked about the enforcement status. It is in the enforcement process and a brief update was provided. Mr. Ellis will review the site and bring it back at the next meeting. Discussion followed about the Fort Pointe development on Ridge Road. There are concerns about the impact of the population increase on current public safety staffing. Increasing staffing levels will be dependent on increasing revenue. Commissioner Swanson is concerned about traffic safety, especially for children. Mr. Ellis noted the improvements that will be completed with Fort Pointe to mitigate traffic issues. Commissioner Sollaccio would like to see the Planning Commission be more proactive by pursuing grants to ensure the community functions for all members. She highlighted grants through DOT. She also explained the reason the Planning Commission limited the number of chickens to 12 in previous discussions. Commissioner Swanson requested a representative from ODOT attend meetings to ask questions. This could be arranged if there is a project-specific need for it. Commissioner Sollaccio noted concerns from Spruce Up Warrenton about improving pedestrian crossings on Main Street.

8. GOOD OF THE ORDER

Mr. Ellis described education and experience in land use planning. He is looking forward to improving Warrenton's disaster planning and preparedness through improvements to the development code.

Mr. Fregonese thanked the Planning Commission and looks forward to working on the Middle Housing Code Update.

There being no further business, Vice Chair Bridgens adjourned the meeting at 6:34 p.m.

APPROVED:

ATTEST:

Christine Bridgens, Vice Chair

Rebecca Sprengeler, Secretary



City of Warrenton

Planning Department

225 S Main Avenue ■ P.O. Box 250 ■ Warrenton, OR 97146

Phone: 503.861.0920 Fax: 503.861.2351

STAFF REPORT

TO: The Warrenton Planning Commission
 FROM: Matthew Ellis, AICP, Planning Director
 DATE: May 9, 2024
 SUBJ: Conditional Use Permit CUP-24-2 and Site Design Review SDR-24-1

BACKGROUND

John Nygaard of Nygaard Land LLC has applied for a conditional use permit and site design review to develop a mini-warehouse or similar storage facility along SE Warrior Way which is zoned I-1 General Industrial. The subject property is presently undeveloped and is identified as Tax Lot 810340002301.

PUBLIC PROCESS, PROCEDURES & PUBLIC NOTICE

Applications were submitted on February 12 and after supplemental submittals were deemed complete on March 12, 2024. We sent notice of the public hearing to adjacent property owners on April 9 and published notice in The Astorian on April 30, 2024.

CODE PROVISIONS, APPLICANT RESPONSES, AND FINDINGS

Applicable Warrenton Municipal Code (WMC) chapters for this application include:

- 16.60.030 General Industrial District Conditional Uses
- 16.120 Access and Circulation
- 16.124 Landscaping, Street Trees, Fences and Walls
- 16.128 Vehicle and Bicycle Parking
- 16.132 Clear Vision Areas
- 16.140 Stormwater and Surface Water Management
- 16.188 Multifamily Housing Design Standards
- 16.192 Large Scale Developments
- 16.208.050 Type III Procedure (Quasi-Judicial)
- 16.212 Site Design Review
- 16.220 Conditional Use Permits

Chapter 16.60 General Industrial (I-1) District
16.60.030 Conditional Uses

APPLICANT RESPONSE: The project is a new mini-warehouse or similar storage use, which is a conditional use in the I-1 Industrial Zone.

STAFF FINDING: This criterion is met. The proposed use would be allowed if CUP-24-2 is approved.

16.60.040 Development Standards

APPLICANT RESPONSE:

- A. The project will be within air quality standards set by the Department of Environmental Quality.
- B. The project will be within permitted noise requirements.
- C. All such materials will be stored indoors or in City of Warrenton approved waste disposal containers.
- D. Minimal fencing is used as necessary to protect the property with only 10 feet of fencing needed on the north and south corners the furthest away from the public view that connects to the existing fencing of NW Natural Gas and OR State Police property, and gates at the front customer entrance and fire truck access on the eastern side.
- E. On the east the site adjoins the non-industrial Warrenton-Hammond School District 30 across the New Road, and there is more than 10 feet of greenspace and landscaping buffers that will attain a mature height of over 8 feet.
- F. No vibration is expected with this site beyond standard highway vehicles.
- G. Electrical and lighting will not interfere with the operations of the Port of Astoria Airport.
- H. The setbacks are all 10 feet or more and across a street from a non-industrial zone which meet these requirements.
- I. The development complies with wetland and riparian area protections.
- J. The proposed buildings average 16 feet high, with a maximum height of 24 feet on the office building which is all below 45 feet in the industrial zone, and below the 40-foot maximum building height of the High Density Residential zone on the Warrenton-Hammond School District 30 property to the east across the New Road.
- K. All other applicable Code requirements have been satisfied.
- L. A single bathroom will connect with City Sewer and Water and will comply with City regulations which will be confirmed through the City's consulting engineer review and approval. Please also see the attached Impact Statement regarding these connections.
- M. N/A, no dredging or disposal of wetlands is involved in this project. Additionally, mapped wetlands on the southern end of this lot will become their own separate legal lot away from this project through a partition/lot line adjustment process before construction occurs.
- N. N/A, no marijuana involved in this project.

STAFF FINDING: The development criteria in the I-1 General Industrial zone are met.

Chapter 16.116 Design Standards

16.116.030 Architectural and Design Standards

APPLICANT RESPONSE:

- G. The project is for new mini-storage units, which is subject to the standards as noted below:
1. N/A, the new storage unit facility is farther than 100 feet from East Harbor Drive.
 2. New storage unit facilities shall be subject to the following design standards:
 - a. The predominant exterior materials shall be steel, glass, and CMU block. The predominant exterior materials shall be steel, glass, and CMU block. The building materials do not include [smooth-faced concrete block, tilt-up concrete panels, EIFS, stucco, or T 1-11]. A metal roof is proposed on the buildings and is compatible with the overall architectural design of the building and similar to buildings that have been constructed nearby.
 - b. The proposed colors are neutral/earth tones to fit the surrounding area with Forge light stone siding and Janus continental brown doors. These colors are the same as used for the Warrenton-Hammond School District 30's Middle School and similar to nearby buildings.
 - c. The site does not abut Highway 101 and does not have loading docks. The outdoor storage area is in the western rear of the site abutting NW Natural Gas and OR State Police which is away from public view. The outdoor storage areas used for boats and trailers are in the western rear of the site along the NW Natural Gas and OR State Police property using their previously constructed fence, which is away from public view. Equipment will not be visible to the public. Heating/ventilation/air and trash enclosure are screened or contained from public view.
 - d. Exterior building mass is recessed every 40 feet or less on the north and east public facing sides, with a 102 feet length on the southern side that does not face the public. There is not a building mass of over 150 feet in length.
 - e. The proposed site lighting is on the buildings, downward directed and do not exceed 25 feet in height. See attached sheet for detail of site lighting.
 - f. All other applicable design requirements have been addressed.
 3. This storage unit facility is not along South Main Avenue or the Pacific Drive commercial corridors.

STAFF FINDING: The architectural and site design criteria for Storage Unit Facilities are met.

Chapter 16.120 Access and Circulation
16.120.020 Vehicular Access and Circulation

APPLICANT RESPONSE: Please see the two accesses on the eastern side and New Road design with Warrenton-Hammond School District 30 that meets all requirements

of 16.120.020. The New Road will be improved to be 32'-36' wide and built to City standards and the Uniform Fire Code, including a left-hand turn lane onto SE Warrior Way; and will be dedicated as a public street and benefit the school district in its future expansions. Please see the attached Impact Statement showing average daily trips to the site are estimated at 36, which is much less than the 300 average daily trips that usually requires a traffic study to consider potential adverse traffic effects.

STAFF FINDING: The vehicular access and circulation criteria are met pending the construction and dedication of the proposed public street.

Chapter 16.124 Landscaping, Street Trees, Fences, and Walls

16.124.020 Landscape Conservation

APPLICANT RESPONSE: N/A there are not significant trees or vegetation on site.

STAFF FINDING: This section does not apply.

16.124.050 Fences and Walls

APPLICANT RESPONSE: This site is in the General Industrial Zone, which will use the existing fence on the western side of the property that has already been constructed by NW Natural Gas and OR State Police. The north and south of the property will only have a 10-foot length of fence that will be less than 6 feet tall and connect to the existing fences built by NW Natural Gas and OR State Police the furthest from public view. The main entrance and fire access entrance on the eastern side will each have 8-foot entrance gates, not a fence. No barbed or razor wire fencing will be used.

STAFF FINDING: The fence criteria are met.

16.124.060 Landscape Conservation

APPLICANT RESPONSE: N/A this site does not have significant trees or vegetation.

STAFF FINDING: This section does not apply.

16.124.070 New Landscaping

APPLICANT RESPONSE: Please see attached landscape species list and site plan showing landscaping that meets all the above requirements of 42,567SF of landscaping over a 212,770SF site, which is over the 20% landscaping requirement.

STAFF FINDING: The landscaping criteria are met.

16.124.080 Street Trees

APPLICANT RESPONSE: Please see the attached landscape plan and site plan that meets all the requirements for Street Trees.

STAFF FINDING: The street trees criteria are met.

Chapter 16.128 Vehicle and Bicycle Parking

16.128.030 Vehicle Parking Standards

APPLICANT RESPONSE: Please see the attached site design that meets the above requirements for vehicle parking. The gross floor area of the office available to the public is 1324 SF, which requires 2 parking spaces; so, the 4 parking spaces and 1 oversized ADA parking space that is provided meets this requirement.

STAFF FINDING: The vehicle parking criteria are met.

16.128.040 Bicycle Parking Standards

APPLICANT RESPONSE: A bicycle rack and pathway to the New Road and SE Warrior Way are provided in front of the customer's main entrance which meets all the bicycle parking requirements.

STAFF FINDING: The bicycle parking criteria are met.

Chapter 16.136 Public Facilities Standards

16.136.010 Street Design Standards

APPLICANT RESPONSE: Access is proposed with a New Road in agreement with the Warrenton-Hammond School District 30 that will be platted as an 80' right of way that is 32'-36' in width and improves this existing street with sidewalks and landscaping on both sides to City of Warrenton and Uniform Fire Code standards. Additionally, this project will construct a left-hand turn lane onto SE Warrior Way and this New Road will be dedicated as a public street to the City and will benefit future school expansions and sports fields by providing the school district with this improved access.

STAFF FINDING: The proposed New Road will meet the street design criteria.

Chapter 16.140 Stormwater and Surface Water Management

APPLICANT RESPONSE: Please see the attached preliminary civil plans that show stormwater drainage goes to catch basins to a stormwater easement that maintains natural drainage, drains properly, and does not materially burden upstream or downstream properties with surface water. The applicant will also obtain a 1200(c) erosion control permit for construction, and meet all other requirements of this section.

STAFF FINDING: The stormwater and surface water criteria are met.

Chapter 16.144 Signs

APPLICANT RESPONSE: Please see the attached site plans showing an on-site sign above the office that is below the required size and does not extend onto any public street or right of way and meets all other City of Warrenton sign standards otherwise. The applicant will also apply for a sign permit as required by the City of Warrenton.

STAFF FINDING: The proposed signage will meet the sign criteria, but will be assessed as a separate sign permit.

Chapter 16.192 Large-Scale Developments

APPLICANT RESPONSE: Please see the attached site plans and preliminary civil plans that show a stormwater management plan that meets 16.140 of the Code. The soil survey of the adjacent NW Natural Gas and Warrenton Middle School developed in

the past few years determined these soils as suitable, which is identical to this site and incorporated herein by reference. Please see the attached Impact Statement showing the utility impact is also minimal, with a single bathroom and sink for City water and sewer, and this project improves the transportation access with the New Road and turn lane onto SE Warrior Way for future Warrenton Schools. There are no additional school children as part of this development and has a landscape plan that meets 16.124 of the Code. Utilities and roads will meet City standards and will be reviewed by the City's consulting engineer.

STAFF FINDING: The large-scale development criteria are met.

Chapter 16.208 Administration of Land Use and Development Permits

16.208.050 Type III Procedure (Quasi-Judicial)

APPLICANT RESPONSE:

- A. A pre-application conference was held with city staff on May 17, 2023.
- B. Responses below:
 - 1. The official City of Warrenton Industrial Site Design Application and Conditional Use Application was filled out and submitted along with this narrative.
 - 2. Responses below:
 - a. The information requested on the application form has been filled in.
 - b. Three copies of this narrative statement have been submitted.
 - c. The applicant submitted the required Type III Planning Commission application fee for a development over 30,000SF of \$2,500 and Conditional Use application fee of \$1,000.
 - d. The Applicant submitted pre-addressed stamped envelopes with the address of the owners within the notification area of 200 feet of the site using the online Clatsop County GIS ownership records.
 - e. Please see the attached Impact Statement. Public facilities and utilities infrastructure in this area have already been installed to the property for the Warrenton-Hammond School District 30 Middle School, and as part of this project the New Road will have an additional sidewalk connection on the project side that will be built to City of Warrenton standards and dedicated as a public street. The impacts to water and sewer systems are minimal with only a single bathroom and sink.

STAFF FINDING: The criteria in this section are met.

Chapter 16.212 Site Design Review

16.212.040 Site Design Review

APPLICANT RESPONSE:

- A. The proposal is for industrial buildings that are more than 10,000 square feet of gross floor area and over a site that is more than two acres, so this is a Type III application.
- B. Responses below:

1. Responses below:
 - a. The proposed development site includes property boundaries, dimensions, and gross areas.
 - b. There are no unique natural land features. The site is vacant land that is relatively flat, which is industrial zoned. Stormwater drainage goes to catch basins to a stormwater easement that maintains natural drainage, drains properly, does not materially burden upstream or downstream properties with surface water, applicant will also obtain a 1200(c) erosion control permit for construction, and meet all other requirements of this section.³
 - c. Proposed private drive aisles and easements are shown along with adjacent existing streets, drives, roads, and easements.
 - d. The location and dimensions of all existing and proposed structures, utilities, pavement, and other improvements on the site have been shown on the plan.
 - e. The entrances and exits to the site for vehicular, pedestrian, and bicycle access are shown on the plan.
 - f. The location and dimensions of all parking and vehicle circulation areas (including striping for parking stalls and wheel stops), and proposed paving materials are shown on the plan.
 - g. Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails are shown on the site plan.
 - h. Waste disposal for the office will use a standard garbage can that will be taken out to the street for collection and there are no loading and delivery areas otherwise.
 - i. The common areas and outdoor improvements are shown on the site and landscape plans.
 - j. Outdoor lighting will be attached to the building and are shown on the plan.
 - k. The mailbox will be in the office at the main entrance shown on the site plan.
 - l. The sign is shown on the office building on the site plan and complies with Chapter 16.144. Applicant will apply for a sign permit as required by the City of Warrenton.
 - m. Please see attached Impact Statement, and all requested studies are included.
 - n. The site plan shows the surrounding immediately adjacent properties.
 - o. There are no slopes greater than 10% for this development.
 - p. All existing roads and access easements are shown and will be paved.
 - q. The subject property is not in any designated floodplain or floodway.
 - r. A delineation and wetland removal fill permit was previously issued adjacent to the site as part of the Warrenton Hammond School

District 30 construction of its Middle School, and these areas were filled, so there are no wetlands or riparian areas, streams, or wildlife habitat on this project site. Additionally, mapped wetlands on the southern end of this lot will be on their own separate legal lot away from this project through a partition/lot line adjustment process before construction occurs. Completing this partition/lot line adjustment should be a condition of approval.

- s. Site features are shown on the site plan, and there are no areas having unique views, and drainage ways, or canals.
 - t. There are no designated historic and cultural resource areas on the site or adjacent thereto.
 - u. There are no existing trees or vegetation on the site as it is vacant land with grass, please see the attached site plan and landscape plan for trees and landscaping location.
 - v. There is a North arrow, scale, names, and addresses of all property owners.
 - w. The name and address of the applicant, project designer, Civil Engineer, Surveyor and Planner are shown on the site plan.
2. Responses below:
- a. The building elevations show the height and width dimensions.
 - b. Samples of the building materials, colors and types have been submitted separately from the application along with colored elevations.
 - c. The name of the Architect is Greg Moore of Moore Design Associates and is shown on the site plan.
3. A grading permit will be applied for during construction, and the site is level and flat otherwise. The finish grades will not materially change and will not exceed approximately 2%.
4. Please see attached site plan and landscape plan that shows over 20% Landscape coverage that complies with 16.124.
5. The proposed signage will conform to 16.14.
6. No restrictions or covenants exist or are proposed.

C. The requested documents for this application have all been submitted.

STAFF FINDING: The site design review application followed all applicable criteria.

Chapter 16.220 Conditional Use Permits

16.220.030 Review Criteria

- A. Responses below:
- 1. The proposed use of mini-storage in the I-1 zone is in conformance with the Comprehensive Plan since it is an expressly allowed conditional use for this zone.
 - 2. The adjacent properties to the west are already developed with NW Natural Gas and Oregon State Police, and to the east across the New Road the Warrenton-Hammond School District 30 has constructed its Middle School, so this project is compatible with these existing buildings

and uses and will have minimal impact on these surrounding properties.

This project will also directly benefit the school district's access to the New Road for its future expansions and new schools.

3. Please see attached Impact Statement There are an estimated 50 daily trips with this project or less, which is minimal traffic, and this project improves the New Road with a left-hand turn lane onto Warrior Way that benefits the Warrenton-Hammond School District 30 with improved access for its future school expansions.
4. Please see attached Impact Statement. Public facilities and services that will be connected to already exist or are being improved by this project. A single bathroom and sink in the office area will add minimal impact to City water and sewer services.
5. The site is essentially flat, and this use will not materially change the site's physical characteristics and is appropriate for this use.
6. The site plan shows and meets all these requirements.
7. The use is appropriate at this proposed location. Adjacent industrial land has already been developed and built by NW Natural Gas and Oregon State Police. The site is accessible for users and will improve access to this area with a New Road that benefits the Warrenton-Hammond School District 30 with improved access for its future school expansions.

STAFF FINDING: The conditional use permit application followed all applicable criteria.

CONCLUSIONS AND RECOMMENDATION

The applicant has demonstrated that the proposed mini-storage facility satisfies the conditional use permit criteria to be in the General Industrial zoning district. The project design is also consistent and in compliance with the design standards that guide large-scale projects. Accordingly, staff recommends approval of both requests with the following conditions:

1. Before any permits are issued for the development of the property, the applicant must demonstrate the right to access their lot across taxlot 810340000105, which is currently owned by Warrenton Hammond School District. This can be done through the dedication of right-of-way for the proposed public street or through a public access easement.
2. The name of the proposed public street must comply with WMC Section 12.24.040 when it is dedicated to the City. SE Warrior Drive will not be allowed.
3. Any utility easements shall be dedicated to the City of Warrenton.
4. The developer shall provide as-built drawings and certification by a registered engineer in accordance with the adopted criteria for all improvements before acceptance by the City.
5. The developer shall agree to make all necessary offsite stormwater improvements if downstream deficiencies are created by the development of this property.
6. The developer shall submit a final Stormwater Report with the final construction documents.

RECOMMENDED MOTION

“Based on the findings and conclusions of the May 9, 2024, staff report, I move to approve CUP-24-2 and SDR-24-1 subject to the conditions of approval included in the staff report.”

ATTACHMENTS

1. CUP-24-2 Application
2. SDR-24-1 Application
3. Code Compliance Narrative
4. Impact Statement
5. Preliminary Site Plan and Elevations
6. Landscape Plan Species List
7. Preliminary Civil Plans
8. Soils Survey



City Of Warrenton
Planning Department
Conditional Use Permit
WMC 16.220

OFFICE USE	FEE \$1,000
	File# CUP - <u>24 - 2</u>
	Date Received <u>2/12/24</u>
	Receipt# <u>917-24-00002-PLNG1</u>

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate throughout a zoning district or without restrictions in that district, but would be beneficial to the City if their number, area, location, design, and relation to the surrounding property are controlled. A property owner or designated representative may initiate a request for a conditional use by filing an application with the Planning Department according to the requirements of Section 16.208.050. In addition, the applicant shall provide any related plans, drawings, and/or information needed to provide background for the request.

Property

Address: South of SE Warrior Way by Warrenton Middle School and NW Natural Gas
 Tax Lot (s): Portion of 810340002301 (Assessor No. 32855)
 Zone: I-1 Flood Zone: None Wetlands: None

Applicant

Name (s): Nygaard Land LLC
 Phone: (503) 861-3305 E-Mail Address: john@oregonlawyerpdx.com
 Mailing Address: PO Box 100, Warrenton, OR 97146
 Applicant Signature(s): John Nygaard Date: 2/9/24

Property Owner (if different from applicant)

Name (s): N/A
 Phone: _____ E-mail Address: _____
 Mailing Address: _____
 Owner's Signature: _____ Date: _____

I am a record owner of property (person(s) whose name is on the most recently-recorded deed), or contract purchaser with written permission from the record owner and am providing my signature as written authorization for the applicant to submit this application.

Description of Proposed Land Use

New Mini-Warehouse facility and improving a New Road with Warrenton-Hammond School District 30 with a left-hand turn lane onto SE Warrior Way to improve access for future school expansions. Also completing the existing sidewalk and landscaping on a portion of SE Warrior Way.

Conditional Use Permit Review Criteria

Please provide written responses to each of the criteria below that clearly explain how your proposal meets each item. Attach a separate piece of paper if needed. Be as specific as possible. "Yes" and "No" responses are not sufficient.

WMC 16.220.030

1. The proposed use is in conformance with the Comprehensive Plan.

Please see Attached Narrative

2. The location, size and design, and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on surrounding properties.

Please see Attached Narrative

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

Please see Attached Narrative

4. Public facilities and services are adequate to accommodate the proposed use.

Please see Attached Narrative

5. The site's physical characteristics, in term of topography, soils and other pertinent considerations are, are appropriate for the use.

Please see Attached Narrative

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for the building, parking, landscaping, driveway, on-site circulation, public areas, loading areas, storage facilities, setbacks, buffers, and utilities which are required by City ordinances.

Please see Attached Narrative

7. The use is appropriate at the proposed location. Several factors which should be considered in determining whether or not the use is appropriate include: accessibility for users (such as customers and employees); availability of similar existing uses; availability of other appropriately zoned sites; and the desirability of other suitably zoned sites for the intended use.

Please see Attached Narrative

Submittal Checklist

Applicants shall submit all of the following items on a site plan along with the application form. The site plan shall contain the following information:

- The proposed development site, including boundaries, dimensions, and gross area drawn to scale.
- Natural land features identified which are proposed to be removed or modified by the development, including modifications to existing drainage patterns, if any.
- The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements, if any
- The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan.
- The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access, if being modified by the application.
- The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable), and proposed paving materials.
- Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails.
- Loading and service areas for waste disposal, loading and delivery, if any
- Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements.

- Location, type, and height of outdoor lighting.
- Locations, sizes, and types of signs (shall comply with Chapter 16.144).
- The Planning Department may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, site drainage, natural hazards, etc.).
- The applicant's entire tax lot and the surrounding property to a distance sufficient to determine the location of the development in the City, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions and gross area shall be identified.
- Identification of slopes greater than 10%.
- Any areas identified as located in a designated floodplain and/or floodway, if any
- Depict any wetland and riparian areas, streams and/or wildlife habitat areas, if any.
- Site features such as pavement, areas having unique views, and drainage ways, canals and ditches, if any.
- Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.
- North arrow, scale, names and addresses of all property owners.
- Name and address of applicant, project designer, engineer, architect, surveyor, and/or planner, if applicable.
- Letter or narrative report documenting compliance with the applicable approval criteria including the conditional use criteria, zoning development standards, and applicable design standards. Please see the Planning Staff for applicable design standards.

This application will not be officially accepted until department staff have determined that the application is completely filled out, signed, the application fee has been paid, and the submittal requirements have been met.

**CITY OF WARRENTON
PLANNING AND BUILDING DEPARTMENT**

**INDUSTRIAL SITE DESIGN
APPLICATION**

To be accompanied by a Site Plan Map, copy of property deed and if applicable, a Letter of Authorization.

OFFICE USE ONLY	
FILE #	<u>SDR-24-1</u> FEE \$ <u>2,500-</u>
ZONING DISTRICT	<u>I-1</u>
RECEIPT#	<u>917-24-00011-PLNG</u>
DATE RECEIVED	<u>2/12/24</u>

The site plan review process is a method for assuring compliance with the City of Warrenton Comprehensive Plan and Development Code, and to ensure wise utilization of natural resources, and the proper integration of land uses utilizing appropriate landscaping or screening measures. An industrial enterprise must also consider traffic circulation patterns, off-street parking, refuse containers, safe exit and entrance to the business, building height, dust control, future widening of major thoroughfares, and signs. Please answer the questions as completely as possible.

.....

Legal Description of the Subject Property: Township 8, Range 10, Section(s) 34, Tax Lot(s) 810340002301

Property street address SE of Warrior Way by NW Natural Gas / Warrenton Middle School

I/WE, THE UNDERSIGNED APPLICANT(S) OR AUTHORIZED AGENT, AFFIRM BY MY/OUR SIGNATURE(S) THAT THE INFORMATION CONTAINED IN THE FOREGOING APPLICATION AND ASSOCIATED SUBMISSIONS IS TRUE AND CORRECT.

APPLICANT:

Printed Name: Nygaard Land LLC

Signature: *John Nygaard* Date: 2/9/2024

Address: PO Box 100 Phone: (503) 861-3305

E-mail Address: john@oregonlawyerpdx.com

City/State/Zip: Warrenton, OR 97146 Fax: (503) 861-2925

PROPERTY OWNER (if different from Applicant):

Printed Name: N/A

Signature: _____ Date: _____

Address: _____ Phone: _____

E-mail Address: _____

City/State/Zip: _____ Fax: _____

1. In detail, please describe your proposal:

New mini-warehouse or similar storage and improving a New Road with Warrenton-Hammond School District 30 with left-hand turn lane on SE Warrior Way to improve access for future school expansions. Also completing the existing sidewalk and landscaping on a portion of SE Warrior Way.

2. Describe what type of business, commodity sold or manufactured, or service being proposed.

Storage Rentals

Current number of employees : 1
Projected number of customers per day Less than 30 / day average
Days of operation 7 Hours of operation 24 hour customer access
Number of shipments/deliveries per day N/A per week _____
By what method will these be arriving/sent? N/A

3. Does this property have existing businesses? No

If yes, please list the business names and their addresses, and note these businesses on your site plan map.

N/A

4. Is there a residence or residences on this property? No

If yes, please list the number of residences and please show these structures on your site plan map.

N/A

5. Availability of services: City water Yes, one bathroom, City sewer Yes, one bathroom

6. If you are an existing business, are materials or merchandise currently being stored on site?

N/A

Where and how do you propose to store materials or merchandise for sale or processing?
N/A or in office

7. What percentage of the property is currently landscaped? 0

What percentage of the property do you propose to landscape as part of this project? Over 20% of site

8. How do you intend to irrigate the existing and proposed landscaping? Landscape drip lines

9. Signs require the submittal of a separate application, which may be submitted in conjunction with this site plan application.

10. Please explain how you propose to provide for the drainage of this property, or explain why no additional drainage consideration is necessary. Will create a stormwater drainage to the west using existing stormwater easement with NW Natural Gas, and will naturally infiltrate so there is not a material increase in stormwater flow. Please see attached preliminary civil plans showing stormwater system.

11. Please provide the type of development on the neighboring properties.

North: Open space on site, and then stormwater system/open space Warrenton-Hammond School District 30
South: Open space on site
East: New Road expanding with School District with left-hand turn lane on Warrior Way for future schools
West: NW Natural Gas and Oregon State Police already constructed and fenced

12. Provide samples of the building materials for the exterior of the building with detail description of where each type and color will be used in the construction and finishing of the building. Please see attached narrative.

13. Will all parking for your business be provided on the property? Yes X No _____ All parking must be shown on your site plan map. If off-street parking is to be provided on another property, please attach a copy of the parking easement or agreement from the property owner; or will off-street parking be provided along the abutting street.

14. How does this request comply with the Warrenton Development Code Chapter 2, Section 2.10 (General Industrial)? New Mini-warehouse or similar storage use is a conditional use in the I-1 Zone and complies with all Warrenton Development Code as noted in the attached narrative.

15. Orientation of proposed building(s) (see Section 3.04.1 in the Warrenton Development Code) The public office faces the access on the New Road that will be constructed with Warrenton-Hammond Schools

16. Please address (on separate sheet of paper) all applicable sections of Design Standards (copy attached) out of the Warrenton Development Code. Please see attached narrative.

**PLEASE UNDERSTAND THAT THIS APPLICATION WILL NOT BE OFFICIALLY ACCEPTED
UNTIL DEPARTMENT STAFF HAS DETERMINED THAT THE APPLICATION IS
COMPLETELY FILLED OUT AND THE SITE PLAN MAP REQUIREMENTS HAVE BEEN
COMPLETED.**

Return Application To:

**City of Warrenton
Planning and Building Department
PO Box 250
225 S. Main Street
Warrenton, Oregon 97146**

**Phone: 503-861-0920
Fax: 503-861-2351**

MAP INSTRUCTIONS AND CHECKLIST

A Site Plan Map, which shows all existing and proposed structures and parking areas, must accompany this application. The following checklist identifies the specific information which should be included on this map.

- Title the map "Industrial Site Design".
- The map may be drawn on 8 ½ x 11 or 8 ½ x 14 inch white paper.
- Township, Range, Section and Tax Lot number of the subject property(ies) shall be included.
- North arrow, date, and map scale in one inch intervals (1" = 20') shall be noted.
- Shape, dimensions, and square footage of the parcel shall be shown. Draw the property line with a solid black line and label adjacent street(s), if any.
- Identify existing and proposed easements with a dotted line.
- Identify the location and direction of all water courses and drainage ways, as well as the location of the 100-year floodplain, if applicable.
- Illustrate all existing buildings and their sizes.
- Illustrate all proposed new construction with dashed lines (include dimensions).
- Illustrate parking area with number of spaces and access drive areas. If off-street parking is to be provided, even in part, on another property, please show its location on your site plan map, and attach a copy of the parking easement or agreement from the adjoining property owner.
- Illustrate the entrance and exit points to the property, pattern of traffic flow, loading and unloading area, sidewalks and bike paths.
- Illustrate the existing or proposed location, height, and material of all fences and walls.
- Illustrate existing or proposed trash and garbage container locations, including type of screening.
- Name of the person who prepared the map.

Industrial site design application
October 2018

- Location, type and height of outdoor lighting.
- Location of mailboxes if known.
- Locations, sizes, and types of signs (shall comply with Chapter 3.7 of the Warrenton Development Code).
- Map shall show entire tax lot plus surrounding properties.
- Identification of slopes greater than 10%.
- location, condition and width of all public and private streets, drives, sidewalks, pathways, right-of-ways, and easements on the site and adjoining the site.
- Identify designated flood hazard area(s).
- Show wetland and riparian areas, streams and/or wildlife areas.
- Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.
- Location, size and type of trees and other vegetation on the property.

February 9, 2024

City of Warrenton Planner
PO Box 250
Warrenton, OR 97146

Re: Warrenton Storage Design Standards Compliance Letter

City Staff,

The following documents the compliance with the applicable sections of Design Standards contained in the City of Warrenton Development Code.

16.60.030 Conditional Uses. The following uses and activities and their accessory uses and activities may be permitted in the I-1 zone when approved under Chapter 16.220, and subject to the provisions in Section 16.60.040, Development Standards:

...

E. New mini warehouse or similar storage uses.

Applicant Response: The project is a new mini-warehouse or similar storage use, which is a conditional use in the I-1 Industrial Zone.

16.60.040 Development Standards

A. Air Quality. The air quality standards set by the Department of Environmental Quality shall be the guiding standards in this zone, except that open burning is prohibited in any case.

Applicant Response: The project will be within air quality standards set by the Department of Environmental Quality.

B. Noise. As may be permitted under all applicable laws and regulations.

Applicant Response: The project will be within permitted noise requirements

C. Storage. All materials, including wastes, shall be stored and maintained in a manner that will not attract or aid the propagation of insects or rodents or other animals or birds, or otherwise create a health hazard or nuisance.

Applicant Response: All such materials will be stored indoors or in City of Warrenton approved waste disposal containers

D. Fencing. Will be allowed inside a boundary planting screen and where it is necessary to protect property of the use concerned or to protect the public from a dangerous condition. Proposed fence locations and design shall be subject to City review.

Applicant Response: Minimal fencing is used as necessary to protect the property with only 10 feet of fencing needed on the north and south corners the furthest away from the public view that connects to the existing fencing of NW Natural Gas and OR State Police property, and gates at the front customer entrance and fire truck access on the eastern side.

E. Buffer. Where this zone adjoins another non-industrial zone there shall be a buffer area at least 10 feet wide to provide a dense evergreen landscape buffer which attains a mature height of eight feet, or such other screening measures as may be prescribed by the City in the event differences in elevation or other circumstances should defeat the purpose of this requirement.

Applicant Response: On the east the site adjoins the non-industrial Warrenton-Hammond School District 30 across the New Road, and there is more than 10 feet of greenspace and landscaping buffers that will attain a mature height of over 8 feet.

F. Vibration. No vibration other than that caused by highway vehicles, trains and aircraft shall be permitted which is discernible without instruments at the property line of the use concerned.

Applicant Response: No vibration is expected with this site beyond standard highway vehicles.

G. Airport Interference. No use shall create electrical or lighting interference with the operations of the Port of Astoria Airport.

Applicant Response: Electrical and lighting will not interfere with the operations of the Port of Astoria Airport.

H. Setbacks. The minimum front, side and rear yard setbacks shall be 10 feet. When across a street from a non-industrial zone, the setback from the property line shall be 10 feet. When a property abuts a non-industrial zone, the setback shall be as follows:

1. 50 feet for buildings and other structures more than 10 feet in height;
2. 30 feet for buildings and structures more than six feet high but not more than 10 feet high; and
3. 10 feet for structures no more than six feet high (except fences no more than six feet high may be on the property line).

Applicant Response: The setbacks are all 10 feet or more and across a street from a non-industrial zone which meet these requirements.

I. All development shall comply with the wetland and riparian area protection standards of Chapter 16.156.

Applicant Response: The development complies with wetland and riparian area protections.

J. Building Height. The maximum building height shall be 45 feet, except that it may be lower under either of the following circumstances:

1. Within 100 feet of a non-industrial zone, where the maximum building height shall be the same as the maximum building height in that zone.
2. Within the Airport Hazard Overlay Zone, where the maximum building height is described by the Airport Hazard Overlay Zone.

Applicant Response: The proposed buildings average 16 feet high, with a maximum height of 24 feet on the office building which is all below 45 feet in the industrial zone, and below the 40 foot maximum building height of the High Density Residential zone on the Warrenton-Hammond School District 30 property to the east across the New Road.

K. All other applicable Code requirements shall be satisfied.

Applicant Response: All other applicable Code requirements have been satisfied.

L. All new sewer and water connections for a proposed development shall comply with all City regulations.

Applicant Response: A single bathroom will connect with City Sewer and Water and will comply with City regulations which will be confirmed through the City's consulting engineer review and approval. Please also see attached Impact Statement regarding these connections.

M. Prior to undertaking disposal, the dredging project proponent shall consult with the Army Corps and Oregon DSL to determine if the disposal site contains wetlands that are regulated under permit programs administered by those agencies. If the site contains regulated wetlands, the dredging project proponent shall either alter the disposal site boundaries to avoid the wetlands and leave an acceptable protective buffer, or obtain the necessary Corps and DSL permits to fill the wetlands.

Applicant Response: N/A, no dredging or disposal of wetlands is involved in this project. Additionally, mapped wetlands on the southern end of this lot will become their own separate legal lot away from this project through a partition/lot line adjustment process before construction occurs.

N. Recreational marijuana production, recreational marijuana processing, and recreational marijuana wholesale activities shall be located only east of Highway 101 and at least 1,000 feet from any public or private school, church, public park or child care center, and shall operate exclusively as a single building occupant or with other licensed medical marijuana dispensaries or recreational marijuana retail outlets. (Ord. 1249 § 2, 2022; Ord. 1196-A § 4, 2015)

Applicant Response: N/A, no marijuana involved in this project.

16.116.030 Architectural and Site Design Standards.

The City's development design standards are for the commercial district corridors . . . or to new mini-storage units regardless of size or façade length. An existing large retail establishment of said square footage or length or greater shall comply with these standards if proposed renovations or improvements exceed 50 % of the market value.

Applicant Response: The project is for new mini-storage units, which is subject to 16.116.030(G) standards as noted below:

16.116.030(G). Storage Unit Facilities. Where allowed, storage unit facilities shall be subject to the following design, siting, and location standards:

1. Setbacks. New storage unit facilities shall be constructed no closer than 100 feet from the East Harbor Drive right-of-way line. This setback area shall be used for landscaping, open space, public or private amenities, off-street parking, other businesses allowed in the zone; or a combination thereof.

Applicant Response: N/A, the new storage unit facility is farther than 100 feet from East Harbor Drive.

2. Design Standards. New storage unit facilities shall be subject to the following design standards:

a. Building material requirements in Section 16.116.030(C)(3);

Applicant Response: Responses to Section 16.116.030(C)(3) are included below:

16.116.030(C)(3). Materials.

a. The predominant exterior building materials shall be of high quality materials, including, but not limited to, brick, sandstone, wood, native stone and cultured stone as accents to distinguish specific architectural features, rusticated metal cladding, tinted/textured concrete masonry units and/or glass products. Simulated material may be substituted for any of the aforementioned building materials.

Applicant Response: The predominant exterior materials shall be steel, glass, and CMU block.

b. At least three different building materials shall be used for 100% construction of a building. The main entrance does not count towards this standard.

Applicant Response: There are at least 3 building materials proposed as noted above.

c. Exterior building materials shall not include smooth-faced concrete block, tilt-up concrete panels, EIFS, stucco, or T 1-11. Prefabricated steel panels are excluded unless the design and material meets the City's design standards.

Applicant Response: The building materials do not include any of these.

d. Metal roof may be allowed if compatible with the overall architectural design of the building.

Applicant Response: A metal roof is proposed on the buildings and is compatible with the overall architectural design of the building and similar to buildings that have been constructed nearby.

b. Building color standards in Section 16.116.030(C)(5);

Applicant Response: Responses to Section 16.116.030(C)(5) are included below:

16.116.030(C)(5). Building Colors. Exterior colors shall be of low reflectance, subtle, neutral or muted earth tone colors. The use of high intensity colors such as black, neon, metallic or fluorescent colors for the facade and/or roof of the building are prohibited except as approved for building trim.

Applicant Response: The proposed colors are neutral/earth tones to fit the surrounding area with Forge light stone siding and Janus continental brown doors. These colors are the same as used for the Warrenton-Hammond School District 30's Middle School and similar to nearby buildings.

c. Mechanical equipment, outdoor storage and service area standards in Section 16.116.030(C)(6);

Applicant Response: Responses to Section 16.116.030(C)(6) are included below:

16.116.030(C)(6). Mechanical Equipment, Outdoor Storage and Service Areas. The location of loading docks, outdoor storage yards and all other service areas shall be located to the sides and/or rear of a building, except when a site abuts Highway 101, in which case the said areas shall be located to the sides of the building that do not face Highway 101.

Applicant Response: The site does not abut Highway 101, and does not have loading docks. The outdoor storage area is located in the western rear of the site abutting NW Natural Gas and OR State Police which is away from public view.

a. All outdoor storage yards, loading docks, service areas and mechanical equipment or vents larger than eight inches in diameter shall be concealed by screens at least as high as the equipment they hide, of a color and material matching or compatible with the dominant colors and materials found on the facades of the principal building. Chain link or cyclone fencing (with or without slats) shall not be used to satisfy this requirement.

Applicant Response: The outdoor storage areas used for boats and trailers are located in the western rear of the site along the NW Natural Gas and OR State Police property using their previously constructed fence, which is away from public view.

b. Equipment that would remain visible despite the screening, due to differences in topography (i.e., a site that is at a lower grade than surrounding roadways) shall be completely enclosed except for vents needed for air flow, in which event such vents shall occupy no more than 25% of the enclosure façade.

Applicant Response: N/A, equipment will not be visible to the public.

c. The architectural design of the buildings shall incorporate design features which screen, contain and conceal all heating, ventilation, air conditioning units, trash enclosures, dumpsters, loading docks and service yards.

Applicant Response: Heating/ventilation/air and trash enclosure are screened or contained from public view.

d. Building mass requirements in Section 16.116.030(C)(7);

Applicant Response: Response to Section 16.116.030(C)(7) is included below:

16.116.030(C)(7). Building Mass. Building mass shall be limited to 150 feet in length. If any portion of the building exceeds this length, a recess or variation in height shall be required.

Applicant Response: Exterior building mass is recessed every 40 feet or less on the north and east public facing sides, with a 102 feet length on the southern side that does not face the public. There is not a building mass of over 150 feet in length.

e. Outdoor lighting standards in Section 16.131.030(E); and

Applicant Response: Response to Section 16.116.030(E) is included below:

16.116.030(E). Outdoor Lighting. The lighting for mixed use, residential, commercial and industrial zones shall be shielded and directed down into the site and shall not shine or glare onto adjacent property or streets. Light poles, light fixtures and flag poles shall not exceed 25 feet in height and shall be pedestrian scaled. Installation cost shall be borne by the developer. Decorative exterior lighting is required on the front elevation and at the main entrance. Decorative is defined as “gooseneck” or similar design that is pedestrian oriented.

Applicant Response: The proposed site lighting is on the buildings, downward directed and do not exceed 25 feet in height. See attached sheet for detail of site lighting.

f. Other applicable design requirements of this section.

Applicant Response: All other applicable design requirements have been addressed.

3. Location Requirements. New storage unit facilities may be constructed and operated where allowed by the zoning district, but not in the following areas:

- a. Along the South Main Avenue commercial corridor,**
- b. Along the Pacific Drive commercial corridor. (Ord. 1242 § 2, 2020)**

Applicant Response: This storage unit facility is not along South Main Avenue or the Pacific Drive commercial corridors.

16.120.020 Vehicular Access and Circulation. (Code Text Omitted for length)

Applicant Response: Please see the two accesses on the eastern side and New Road design with Warrenton-Hammond School District 30 that meets all requirements of 16.120.020. The New Road will be improved to be 32'-36' wide and built to City standards and Uniform Fire Code, including a left hand turn lane onto SE Warrior Way; and will be dedicated as a public street and benefit the school district in its future expansions. Please see the attached Impact Statement showing average daily trips to the site are estimated at 36; which is much less than the 300 average daily trips that usually requires a traffic study to consider potential adverse traffic effects.

16.124 Landscaping, Street Trees, Fences and Walls

16.124.020 Landscape Conservation.

Prevents the indiscriminate removal of significant trees and other vegetation, including vegetation associated with streams, wetlands and other protected natural resource areas.

Applicant Response: N/A there are not significant trees or vegetation on site.

16.124.050 Fences and Walls.

Sets standards for new fences and walls, including maximum allowable height and materials, to promote security, personal safety, privacy, and aesthetics. The following standards shall apply to all fences and walls:

A. General Requirements. All fences and walls shall comply with the standards of this section. The City may require installation of walls and/or fences as a condition of development approval, in accordance with Chapter 16.220, Conditional Use Permits, or Chapter 16.212, Development Review and Site Design Review. Walls built for required landscape buffers shall comply with Section 16.124.030.

B. Dimensions.

...

2. Fences in the General Industrial (I-1) Zone may exceed six feet if necessary to protect the welfare of the general public (i.e., airport runway safety, military, coast guard, or homeland security defense facilities, etc.) but not for protection of private property (i.e., auto repair lots, equipment yards, woodworking shops, etc.). Barbed and razor wire fencing is prohibited in all zones except as necessary to enclose livestock or to protect the welfare of the general public (not private property).

Applicant Response: This site is in the General Industrial Zone, that will use the existing fence on the western side of the property that has already been constructed by NW Natural Gas and OR State Police. The north and south of the property will only have a 10 foot length of fence that will be less than 6 feet tall and connect to the existing fences built by NW Natural Gas and OR State Police the furthest from public view. The main entrance and fire access entrance on the eastern side will each have 8 foot entrance gates, not a fence. No barbed or razor wire fencing will be used.

16.124.060 Landscape Conservation. (Code omitted for length)

Applicant Response: N/A this site does not have significant trees or vegetation

16.124.070 New Landscaping. (Code omitted for length)

Applicant Response: Please see attached landscape species list and site plan showing landscaping that meets all of the above requirements of 42,567SF of landscaping over a 212,770SF site , which is over the 20% landscaping requirement.

16.124.080 Street Trees. (Code omitted for length)

Applicant Response: Please see attached landscape plan and site plan that meets all of the requirements for Street Trees.

16.128.030 Vehicle Parking Standards. (Code omitted for length).

Industrial Uses	Parking Spaces Required
Warehousing, including mini-storage warehouses	1 space per 1,000 sq. ft. of gross floor area or for each 2 employees, whichever is greater, plus 1 space per company vehicle

Applicant Response: Please see the attached site design that meets the above requirements for vehicle parking. The gross floor area of the office available to the public is 1324SF which requires 2 parking spaces; so the 4 parking spaces and 1 oversize ADA parking space that is provided meets this requirement.

16.128.040 Bicycle Parking Requirements. (Code omitted for length)

Applicant Response: A bicycle rack and pathway to the New Road and SE Warrior Way is provided in front of the customer main entrance that meets all of the bicycle parking requirements.

16.136.010 Street Design Standards (Code omitted for length)

Applicant Response: Access is proposed with a New Road in agreement with the Warrenton-Hammond School District 30 that will be platted as an 80' right of way that is 32'-36' in width, and improves this existing street with sidewalks and landscaping on both sides to City of Warrenton and Uniform Fire Code standards. Additionally, this project will construct a left-hand turn lane onto SE Warrior Way and this New Road will be dedicated as a public street to the City, and will benefit future school expansions and sports fields by providing the school district with this improved access.

16.140 Stormwater and Surface Water Management (Code omitted for length)

Applicant Response: Please see attached preliminary civil plans that show stormwater drainage goes to catch basins to a stormwater easement that maintains natural drainage, drains properly, does not materially burden upstream or downstream properties with surface water, applicant will also obtain a 1200(c) erosion control permit for construction, and meet all other requirements of this section.

16.144 Signs (Code omitted for length)

Applicant Response: Please see the attached site plans showing an on-site sign above the office that is below the required size and does not extend onto any public street or right of way and meets all other City of Warrenton sign standards otherwise. Applicant will also apply for a sign permit as required by the City of Warrenton.

16.192. Large-Scale Developments (Code omitted for length)

Applicant Response: Please see the attached site plans and preliminary civil plans that show stormwater management plan that meets 16.140 of the Code. The soil survey of the adjacent NW Natural Gas and Warrenton Middle School developed in the past few years determined these soils as suitable, which is identical to this site, and incorporated herein by reference. Please see the attached Impact Statement showing the utility impact is also minimal, with a single bathroom and sink for City water and sewer, and this project improves the transportation access with the New Road and turn lane onto SE Warrior Way for future Warrenton Schools. There are no additional school children as part of this development, and has a landscape plan that meets 16.124 of the Code. Utilities and road will meet City standards and will be reviewed by the City's consulting engineer.

16.204 Administration of Land Use and Development Permits

16.208.050 Type III Procedure (Quasi-Judicial)

A. Pre-application Conference. A pre-application conference is required for all Type III applications. The requirements and procedures for a pre-application conference are described in Section 16.208.070.

Applicant Response: A pre-application conference was held May 17, 2023, with city staff.

B. Application Requirements.

1. Application Forms. Type III applications shall be made on forms provided by the City of Warrenton.

Applicant Response: The official City of Warrenton Industrial Site Design Application and Conditional Use Application was filled out and submitted along with this narrative.

2. Content. Type III applications shall:

a. Include the information requested on the application form.

Applicant Response: The information requested on the application form has been filled in.

b. Be filed with three copies of a narrative statement that explains how the application satisfies each and all of the relevant criteria and standards in sufficient detail for review and action.

Applicant Response: Three copies of this narrative statement have been submitted.

c. Be accompanied by the required fee.

Applicant Response: The applicant submitted the required Type III Planning Commission application fee for a development over 30,000SF of \$2,500 and Conditional Use application fee of \$1,000.

d. Include one set of pre-stamped and pre-addressed envelopes for all property owners of record as specified in subsection C of this section. The records of the Clatsop County Department of Assessment and Taxation are the official records for determining ownership. The applicant shall demonstrate that the most current assessment records have been used to produce the notice list. Alternatively, the applicant may pay a fee for the City to prepare the public notice mailing.

Applicant Response: The Applicant submitted pre-addressed stamped envelopes with the address of the owners within the notification area of 200 feet of the site using the on line Clatsop County GIS ownership records.

e. Include an impact study for all Type III applications. The impact study shall quantify/assess the effect of the development on public facilities and services. The study shall address, at a minimum, the transportation system, including pedestrian ways and bikeways, the drainage system, the parks system, the water system, the sewer system, and the noise impacts of the development. For each public facility system and type of impact, the study shall propose improvements necessary to meet City standards and to minimize the impact of the development on the public at large, public facilities systems, and affected private property users. In situations where this Code requires the dedication of real property to the City, the applicant shall either specifically agree to the dedication requirement, or provide evidence that shows that the real property dedication requirement is not roughly proportional to the projected impacts of the development.

Applicant Response: Please see the attached Impact Statement. Public facilities and utilities infrastructure in this area have already been installed to the property for the Warrenton-Hammond School District 30 Middle School, and as part of this project the New Road will have an additional sidewalk connection on the project side that will be built to City of Warrenton standards and dedicated as a public street. The impacts to water and sewer systems are minimal with only a single bathroom and sink.

16.212.040 Site Design Review.

A. Application Review Procedure.

1. Site Design Review—Determination of Type II and Type III Applications. Applications for site design review shall be subject to Type II or Type III review, based on the following criteria:

...

b. Commercial, industrial, public/semi-public, and institutional buildings (including building additions) with:

i. Up to 10,000 square feet of gross floor area and developing less than two acres of land shall be reviewed as a Type II application.

ii. More than 10,000 square feet of gross floor area or developing two or more acres of land shall be reviewed as a Type III application.

c. Developments involving the clearing and/or grading of two acres or more shall be reviewed as Type III applications.

Applicant Response: The proposal is for industrial buildings that are more than 10,000 square feet of gross floor area and over a site that is more than two acres, so this is a Type III application.

B. Application Submission Requirements. All of the following information (subsections (B)(1) through (7) of this section) is required for site design review application submittal:

1. Proposed Site Plan. The site plan shall contain the following information:

a. The proposed development site, including boundaries, dimensions, and gross area.

Applicant Response: The proposed development site includes property boundaries, dimensions, and gross areas.

b. Natural land features identified which are proposed to be removed or modified by the development, including modifications to existing drainage patterns.

Applicant Response: There are no unique natural land features. The site is vacant land that is relatively flat, which is industrial zoned. Stormwater drainage goes to catch basins to a stormwater easement that maintains natural drainage, drains properly, does not materially burden upstream or downstream properties with surface water, applicant will also obtain a 1200(c) erosion control permit for construction, and meet all other requirements of this section.

c. The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements.

Applicant Response: Proposed private drive aisles and easements are shown along with adjacent existing streets, drives, roads, and easements.

d. The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan.

Applicant Response: The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site have been shown on the plan.

e. The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access.

Applicant Response: The entrances and exits to the site for vehicular, pedestrian, and bicycle access are shown on the plan.

f. The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable), and proposed paving materials.

Applicant Response: The location and dimensions of all parking and vehicle circulation areas (including striping for parking stalls and wheel stops), and proposed paving materials are shown on the plan.

g. Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails.

Applicant Response: Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails are shown on the site plan.

h. Loading and service areas for waste disposal, loading and delivery.

Applicant Response: Waste disposal for the office will use a standard garbage can that will be taken out to the street for collection and there are no loading and delivery areas otherwise.

i. Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements.

Applicant Response: The common areas and outdoor improvements are shown on the site and landscape plans.

j. Location, type, and height of outdoor lighting.

Applicant Response: Outdoor lighting will be attached to the building and are shown on the plan.

k. Location of mail boxes, if known.

Applicant Response: The mail box will be at the office at the main entrance shown on the site plan.

l. Locations, sizes, and types of signs (shall comply with Chapter 16.144).

Applicant Response: The sign is shown on the office building on the site plan and complies with Chapter 16.144. Applicant will apply for a sign permit as required by the City of Warrenton.

m. The Community Development Director may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, site drainage, natural hazards, etc.).

Applicant Response: Please see attached Impact Statement, and all requested studies are included.

n. The applicant's entire tax lot and the surrounding property to a distance sufficient to determine the location of the development in the City, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions and gross area shall be identified.

Applicant Response: The site plan shows the surrounding immediately adjacent properties.

o. Identification of slopes greater than 10%.

Applicant Response: There are no slopes greater than 10% for this development.

p. The location, condition (paved, gravel unimproved, etc.) and width of all public and private streets, drives, sidewalks, pathways, rights-of-way, and easements on the site and adjoining the site.

Applicant Response: All existing roads and access easements are shown and will be paved.

q. Any areas identified as located in a designated floodplain and/or floodway.

Applicant Response: The subject property is not in any designated floodplain or floodway.

r. Depict any wetland and riparian areas, streams and/or wildlife habitat areas.

Applicant Response: A delineation and wetland removal fill permit was previously issued adjacent to the site as part of the Warrenton Hammond School District 30 construction of its Middle School, and these areas were filled, so there are no wetlands or riparian areas, streams, or wildlife habitat on this project site. Additionally, mapped wetlands on the southern end of this lot will be on their own separate legal lot away from this project through a partition/lot line adjustment process before construction occurs. Completing this partition/lot line adjustment should be a condition of approval.

s. Site features such as pavement, areas having unique views, and drainage ways, canals and ditches.

Applicant Response: Site features are shown on the site plan, and there are no areas having unique views, and drainage ways, or canals.

t. Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.

Applicant Response: There are no designated historic and cultural resource areas on the site or adjacent thereto.

u. The location, size and type of trees and other vegetation on the property.

Applicant Response: There are no existing trees or vegetation on the site as it is vacant land with grass, please see the attached site plan and landscape plan for trees and landscaping location.

v. North arrow, scale, names and addresses of all property owners.

Applicant Response: There is a North arrow, scale, names and addresses of all property owners.

w. Name and address of applicant, project designer, engineer, architect, surveyor, and/or planner, if applicable.

Applicant Response: The name and address of the applicant, project designer, Civil Engineer, Surveyor and Planner are shown on the site plan.

2. Architectural Drawings. Architectural drawings shall be submitted showing the following information from subparagraphs a through c of this paragraph 2, and shall comply with Division 3:

a. Building elevations with building height and width dimensions.

Applicant Response: The building elevations show the height and width dimensions.

b. Building materials, color and type.

Applicant Response: Samples of the building materials, colors and types have been submitted separately from the application along with colored elevations.

c. The name of the architect or designer.

Applicant Response: The name of the Architect is Greg Moore of Moore Design Associates and is shown on the site plan.

3. Preliminary Grading Plan. A preliminary grading plan prepared by a registered engineer shall be required for developments which would result in the grading (cut or fill) of 1,000 cubic yards or greater. The preliminary grading plan shall show the location and extent to which

grading will take place, indicating general changes to contour lines, slope ratios, slope stabilization proposals, and location and height of retaining walls, if proposed. Surface water detention and treatment plans may also be required, in accordance with Chapter 16.140.

Applicant Response: A grading permit will be applied for during construction, and the site is level and flat otherwise. The finish grades will not materially change and will not exceed approximately 2%.

4. Landscape Plan. A landscape plan is required and shall comply with Chapter 16.124.

Applicant Response: Please see attached site plan and landscape plan that shows over 20% Landscape coverage that complies with 16.124.

5. Proposed sign(s) shall be required in conformance with the City's Sign Code (Chapter 16.144).

Applicant Response: The proposed signage will conform to 16.14.

6. Copies of all existing and proposed restrictions or covenants.

Applicant Response: No restrictions or covenants are existing or proposed.

C. Review Criteria. The Community Development Director shall make written findings with respect to all of the following criteria when approving, approving with conditions, or denying an application:

1. The application is complete, as determined in accordance with Chapter 16.208 and subsection B of this section.

2. The application complies with all of the applicable provisions of the underlying land use district (Division 2), including building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other special standards as may be required for certain land uses.

3. The applicant shall be required to upgrade any existing development that does not comply with the applicable land use district standards, in conformance with Chapter 16.276, Nonconforming Uses and Development.

4. The application complies with the applicable design standards contained in Division 3. (Ord. 1175-A § 21, 2013)

Applicant Response: The requested documents for this application have all been submitted.

16.220 Conditional Use Permits

16.220.030 Review Criteria

A. Before a conditional use is approved findings will be made that the use will comply with the following standards:

1. The proposed use is in conformance with the Comprehensive Plan.

Applicant Response: The proposed use of mini-storage in the I-1 zone is in conformance with the Comprehensive Plan since it is an expressly allowed conditional use for this zone.

2. The location, size, design and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on, surrounding properties.

Applicant Response: The adjacent properties to the west are already developed with NW Natural Gas and Oregon State Police, and to the east across the New Road the Warrenton-Hammond School District 30 has constructed its Middle School, so this project is compatible with these existing buildings and

uses, and will have minimal impact on these surrounding properties. This project will also directly benefit the school district's access on the New Road for its future expansions and new schools.

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

Applicant Response: Please see attached Impact Statement There are an estimated 50 daily trips with this project or less, which is minimal traffic, and this project improves the New Road with a left-hand turn lane onto Warrior Way that benefits the Warrenton-Hammond School District 30 with improved access for its future school expansions.

4. Public facilities and services are adequate to accommodate the proposed use.

Applicant Response: Please see attached Impact Statement. Public facilities and services that will be connected to already exist or are being improved by this project. A single bathroom and sink in the office area will add minimal impact to City water and sewer services.

5. The site's physical characteristics, in terms of topography, soils and other pertinent considerations, are appropriate for the use.

Applicant Response: The site is essentially flat, and this use will not materially change the site's physical characteristics and is appropriate for this use.

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for appropriate access points, on-site drives, public areas, loading areas, storage facilities, setbacks and buffers, utilities or other facilities which are required by City ordinances or desired by the applicant.

Applicant Response: The site plan shows and meets all of these requirements.

7. The use is appropriate at the proposed location. Several factors which should be considered in determining whether or not the use is appropriate include: accessibility for users (such as customers and employees); availability of similar existing uses; availability of other appropriately zoned sites; and the desirability of other suitably zoned sites for the intended use.

Applicant Response: The use is appropriate at this proposed location. Adjacent industrial land has already been developed and built by NW Natural Gas and Oregon State Police. The site is accessible for users and will improve access to this area with a New Road that benefits the Warrenton-Hammond School District 30 with improved access for its future school expansions.

Additional concerns raised during the pre-application meeting have been addressed as follows:

Applicant Response: A stormwater management plan will be reviewed by the City's consulting engineer. The New Road with Warrenton-Hammond School District 30 will be platted and dedicated to the City after review by the City's consulting engineer. The site will be partitioned/lot line adjusted and away from the mapped wetlands to the south of the lot prior to construction. A sign permit will be applied for as required by the City. All other comments from the pre-application meeting have been addressed.

Warrenton Storage Impact Statement

February 9, 2024

The intent of this report is to analyze the impact on public facilities related to the proposed Warrenton Storage facility in Warrenton, Oregon. The proposed facility consists of an Office and 450 storage units in buildings used for storage of personal property and vehicles. The proposed development is a low impact use on this industrially zoned property. General impact factors related to the Warrenton Storage development are:

Number of staff: 1 - 6-day work week average

Public Visitors: Industry average is 30 client visits per day after startup.

of Large Trucks: 1 standard trashcan pickup once a week

Below are the key public facilities and services as outlined in the Warrenton development code:

Transportation System

Vehicle Road System – SE Warrior Avenue is a local road per the Warrenton TSP and was designed to handle industrial vehicles. The planned roadway will be 32- 36’ wide upon full improvement. SE Warrior Avenue ties into SE Warrior Way. SE Warrior Way ties into SE Dolphin Avenue that then ties into Highway 101 to the North and Perkins Lane to the South. Perkins Lane also connects to Highway 101 which provides two points of access to the property from Highway 101, the primary route in the area. The project will take access off of SE Warrior Avenue (or approved name). Warrenton Storage will improve the west half of SE Warrior Ave along the frontage of their property and add a left-hand turn lane onto SE Warrior Way that also benefit Warrenton-Hammond School District future expansions. Additionally, the project will be removing the existing driveway along SE Warrior Way.

With only 1 staff generating a total of 2 trips per day and minimum customer traffic, the daily trip rate is estimated to be less than 36 trips per day. According to several national surveys conducted, a self-storage facility on average generates less than seven car trips per day per 100 units. (<https://www.selfstorage.org/Blog/ArticleID/320/Help-the-SSA-to-Help-You-with-its-New-Traffic-Study>). Our plan is designed for 480 units. Based on the seven trips per day average for 100 units, we would expect 34 trips per day if we were 100% full. Typically, storage facilities in the area are 93% to 95% occupied. Since the average daily trips generated from the Warrenton Storage operations will be far lower than most industrial facilities, there is no adverse effect on the public street system. In addition, there is only one large truck that picks up trash at the site every week. This will also have no adverse impact on the public road system.

Bicycle System - There are currently no bike lanes on SE Warrior Avenue, which is classified as a local road on the TSP. However, the width of the street ranges from 32’-36’ wide, which provides room outside the normal travel path for bikes to safely ride. Since this is a storage development there will be little to no bicycle riders associated with this project. Therefore, there will be no adverse effect on the public bicycle system.

Pedestrian System — Currently there is not a consistent public sidewalk or path along the entire length of SE Warrior Avenue. Warrenton Storage will be improving the west side of the public roadway adjacent to the property, which includes the construction of a 5-foot wide public sidewalk. Therefore, this development will improve the public pedestrian system.

Storm Drainage System

The historic drainage pattern for the property involves sheet flow run-off from the undeveloped property and routing to west of SE Dolphin Avenue in existing open drainage ways.

The site plan has been designed to include stormwater collection via an underground pipe network that discharges to the existing drainage easement that is near the middle of the west property line that drains to SE Dolphin Avenue. A stormwater report will be prepared with detailed calculations showing how this facility has been designed in accordance with ODOT hydraulics manual and the City of Warrenton Design guide for submission with permit construction drawings. Therefore, this proposed development will have no additional impact on the storm drainage system nor cause any safety issues to the general public.

Parks System

This development is industrial and will employ local residents. Therefore, there is no impact on the existing and/or planned park system in the City of Warrenton.

Water System

There is an existing 12” water line adjacent to the property within the SE Warrior Avenue right of way. This existing public water line was sized to service a typical user located in the industrial zoning on the property. Typical water forecasting for industrial zoning is:

- # of persons = 5-15 per acre Most likely planned for a minimum 40 employees
- Avg Use = 26 gal/person day Most likely designed for approximately 1,040
- gal/day Total weekly use would be approximately 7,280 gallons

The water uses related to the proposed development would be for restroom fixtures to serve the one staff member and occasional customers. Estimated water use related to the development is:

Staff use: $(1 \text{ employees} + 3 \text{ clients}) * (26 \text{ gal/person day}) = 104 \text{ gal/day} = 728 \text{ gal/week}$

Total actual weekly use is estimated to be = 728 gallons

Therefore, the actual water demand for the Warrenton Storage Facility is far less than would normally occur on this parcel. The proposed development will not have an adverse impact on the public water system.

Wastewater System

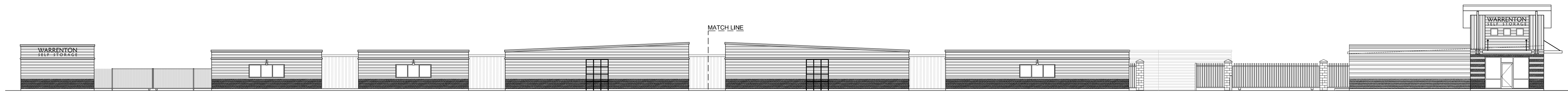
The Warrenton School District constructed a pressure main system in SE Warrior Way. The project will install a new grinder pump to tie into the existing pressure main. The pump station was designed to service this site as an industrial development. The Warrenton Storage facility has a very low discharge to the wastewater system as follows:

The wastewater fixtures for the project will be a restroom. This will have very low flow entering the public system.

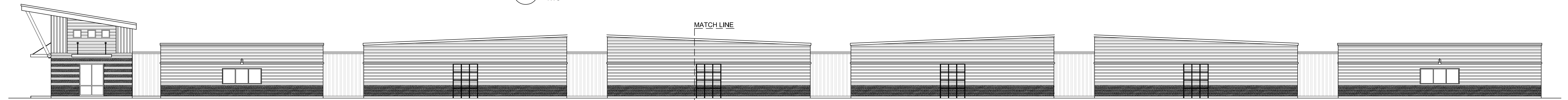
Given the above narrative, the site will have less flow entering the public wastewater system than a normal industrial development would have. Therefore, there will be no overall adverse effect on the public wastewater system related to this development.

Noise Impact From Development

The proposed new Storage Facility will produce limited noise. Approximately 30 customers will visit daily once units are at capacity. 1 staff member will arrive daily and leave nightly. Noise will be limited to vehicles driving onsite and leaving as well as opening exterior units or moving stored vehicles. No heavy machinery or manufacturing of any kind will be present.



1 BLDG. "G" EAST ELEVATION
A2.0 NTS



2 BLDG. "A" NORTH ELEVATION
A2.0 NTS

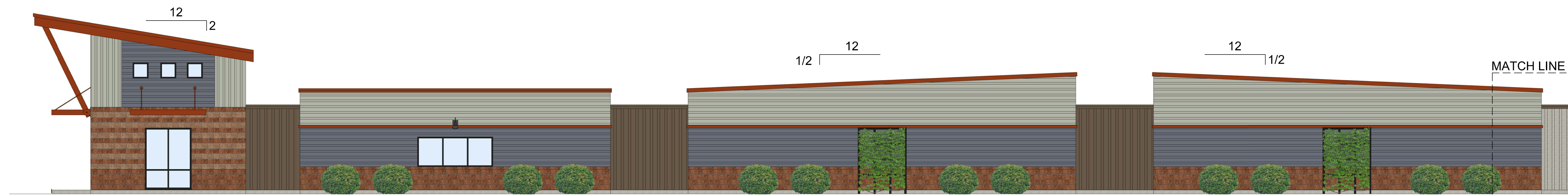


3 BLDG. "G" EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



4 BLDG. "G" EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

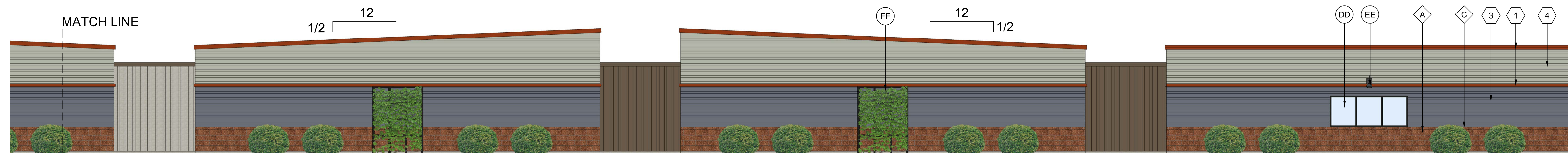
5 BLDG. "A" EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



6 BLDG. "A" NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

A	C.M.U. SPLIT FACE BURGUNDY	1	METAL ACCENT TRIM COLONIAL RED
B	C.M.U. GROUND FACE BURGUNDY	2	METAL SALES T10-A VERT. WEATHERED COPPER
C	10x48 SILL BLOCK BURGUNDY	3	METAL SALES T10-B HORZ. SLATE GREY
DD	BLIND WINDOW	4	METAL SALES T10-D HORZ. OLD TOWN GREY
EE	GOOSE NECK LIGHT FIXTURE	5	METAL SALES SOFFIT PANEL COLONIAL RED
FF	TRELLIS COLONIAL RED		

NOTE: ALL CMU TO BE RAIN BLOCK NOTE: NO SAW CUT METAL TO BE EXPOSED TO WEATHER.



7 BLDG. "A" NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

Title

**BLDG'S
A & G
ELEV'S**

Revisions

Mark Date

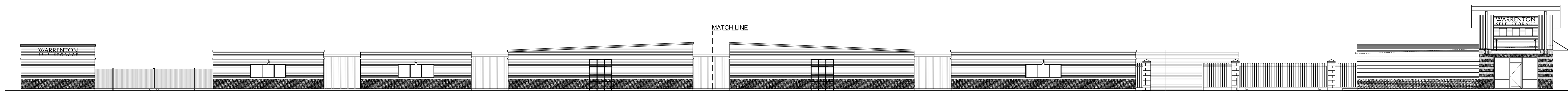
Date 01-16-2024

Scale: AS NOTED

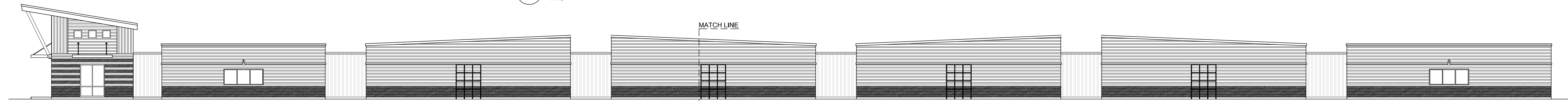
Consultant:

Sheet

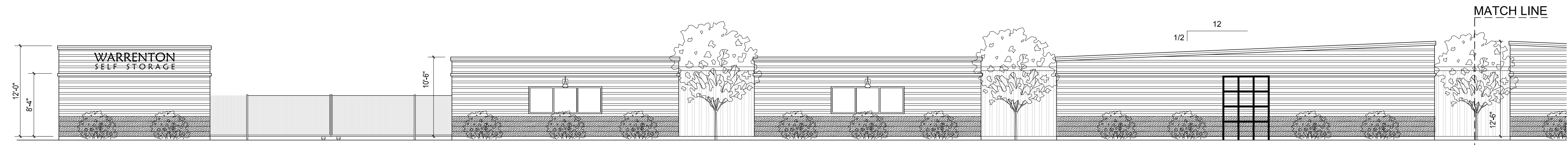
A2.0



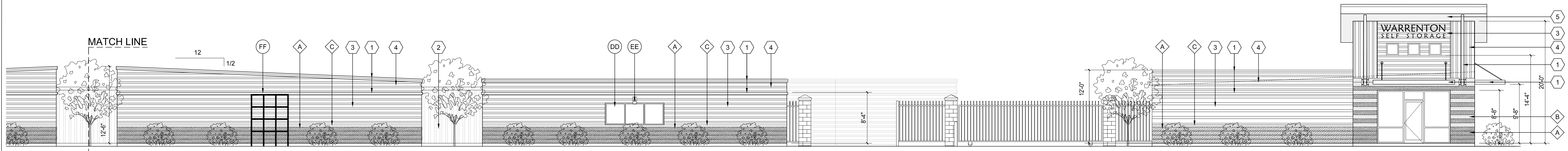
1 BLDG. "G" EAST ELEVATION
A2.0 NTS



2 BLDG. "A" NORTH ELEVATION
A2.0 NTS

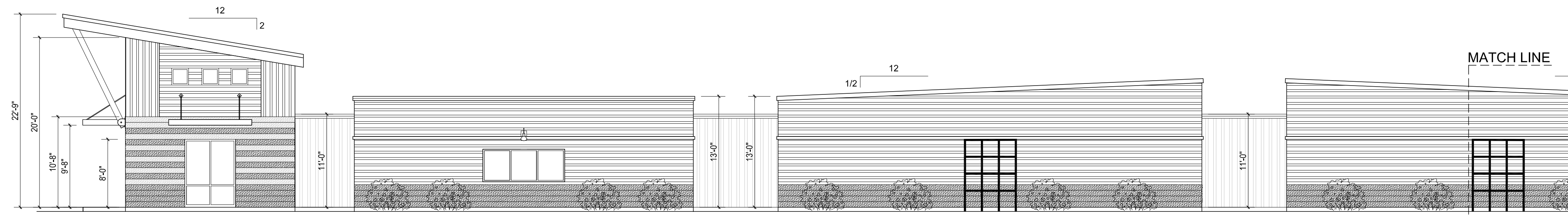


3 BLDG. "G" EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



4 BLDG. "G" EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

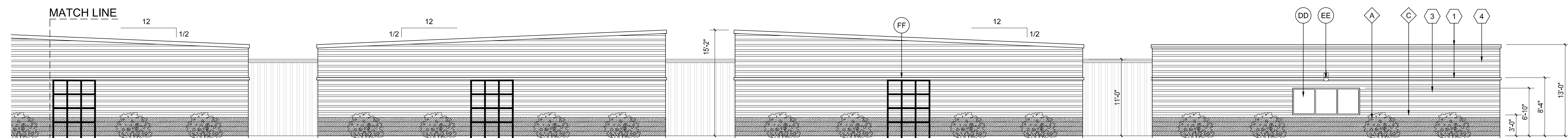
5 BLDG. "A" EAST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



6 BLDG. "A" NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

A	C.M.U. SPLIT FACE BURGUNDY	1	METAL ACCENT TRIM COLONIAL RED
B	C.M.U. GROUND FACE BURGUNDY	2	METAL SALES T10-A VERT. WEATHERED COPPER
C	10x48 SILL BLOCK BURGUNDY	3	METAL SALES T10-B HORZ. SLATE GREY
DD	BLIND WINDOW	4	METAL SALES T10-D HORZ. OLD TOWN GREY
EE	GOOSE NECK LIGHT FIXTURE	5	METAL SALES SOFFIT PANEL COLONIAL RED
FF	TRELLIS COLONIAL RED		

NOTE: ALL CMU TO BE RAIN BLOCK NOTE: NO SAW CUT METAL TO BE EXPOSED TO WEATHER.



7 BLDG. "A" NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

Title

**BLDG'S
A & G
ELEV'S**

Revisions

Mark Date

Date 12-19-2023

Scale: AS NOTED

Consultant:

Sheet

A3.0

3D Landscaping Inc.
Storage Project Landscape Plan
Species List

Shrubs:

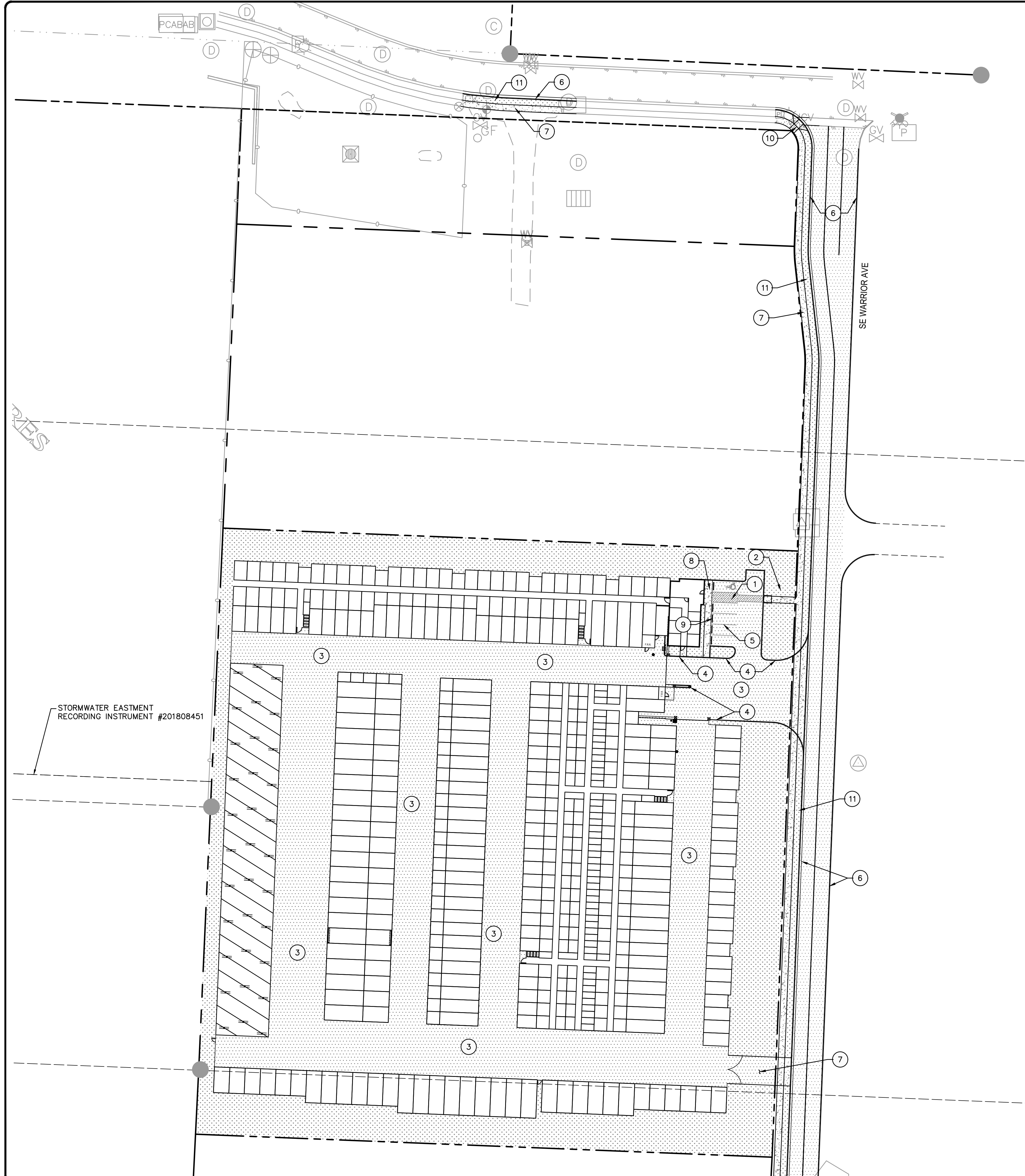
Point Reyes Ceanothus
Kelsey Dogwood
Salal
Pacific Wax Myrtle
Evergreen Huckleberry

Trees:

Vine Maple
Serviceberry
Sunset Maple
White Bark Birch

Ground cover:

Kinnikinnick
Cotoneaster



SHEET NOTES

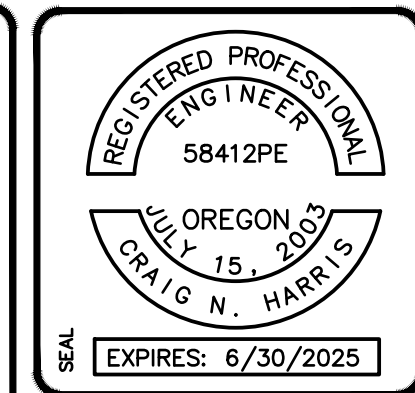
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

LEGEND

PROPERTY LINE	---
CENTERLINE	- - - - -
CONCRETE SURFACING	[Stippled pattern]
ASPHALT SURFACING	[Cross-hatched pattern]
LANDSCAPE	[Dotted pattern]

(X) CONSTRUCTION NOTES

- 1 INSTALL ADA PARKING
- 2 INSTALL ADA RAMP
- 3 INSTALL AC
- 4 INSTALL CURB
- 5 INSTALL PARKING STRIPE
- 6 PUBLIC CURB
- 7 PUBLIC SIDEWALK
- 8 INSTALL SIDEWALK
- 9 INSTALL WHEEL STOP
- 10 PUBLIC ADA RAMP
- 11 PUBLIC PLANTER STRIP
- 12 EMERGENCY FIRE ACCESS



WEDEN ENGINEERING, LLC
 Civil Engineering • Planning • Project Management
 2636 N. Highland Rd., Ferndale, WA 98248
 (360) 463-8800 / (360) 463-8774
 email: info@wedenengineering.com

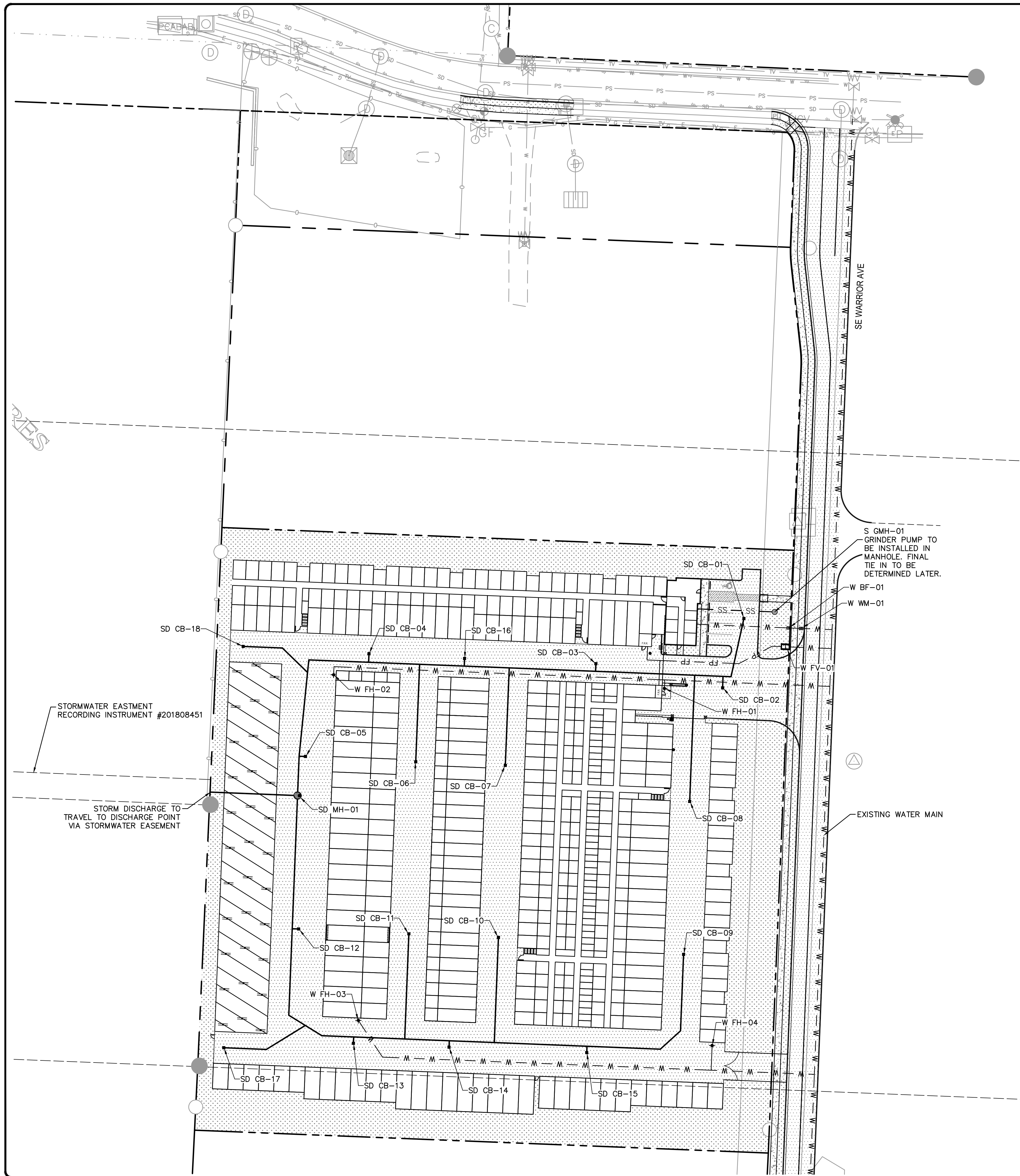
No.	REVISIONS / SUBMISSIONS	DATE

REVIEWED : CNH	DRAWN : TRH
PROJECT NO. : 2309-01	

PROJECT TITLE
WARRENTON STORAGE

DRAWING TITLE
HARDSCAPE PLAN

DATE : 1/5/2024
DRAWING No. C1.0



SHEET NOTES

1. ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
2. THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
3. CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
4. DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
5. UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
6. INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
7. CONTRACTOR TO VERIFY SANITARY AND WATER SIZING AND INVERTS WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.
8. ALL STORM AND SANITARY FITTINGS TO BE ECCENTRIC FITTINGS UNLESS OTHERWISE NOTED.

LABEL LEGEND

PIPE LABELS

- UTILITY LENGTH
- UTILITY SIZE
- XXLF - XX" XX ← UTILITY TYPE
- S=X.XX% ← SLOPE (WHERE APPLICABLE)

STRUCTURE LABELS

- UTILITY TYPE (FP= FIRE PROTECTION, S=SANITARY, SD=STORM DRAINAGE, W=WATER)
- STRUCTURE TYPE (SEE BELOW)
- XX XX-XX ← ID NUMBER (WHERE APPLICABLE)
- RIM=XX.XX ← STRUCTURE INFO (WHERE APPLICABLE)

STRUCTURE TYPES

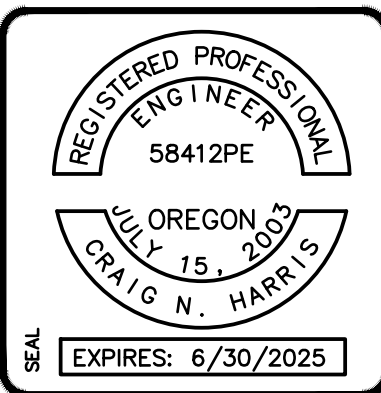
TYPE	DESCRIPTION
CB	CATCH BASIN
WM	WATER METER
BF	BACK FLOW PREVENTOR

LEGEND

SANITARY SEWER LINE	SS	SS
WATER LINE	W	W W W
FIRE LINE	FP	FP FP FP
FDC LINE	FDC	FDC FDC FDC
STORM LINE		

UTILITY NOTES

CATCH BASINS TO BE CONNECTED AND CONVEYED WEST TOWARDS DOLPHIN WAY VIA STORMWATER EASEMENT #201808451 BETWEEN OWNER AND NW NATURAL.



WEDEN ENGINEERING, LLC
 Civil Engineering • Planning • Project Management
 2636 N. Highland Rd., Ferndale, WA 98248
 (360) 535-8833 (fax) (360) 584-8833 (cell)
 email: info@wedenengineering.com

No.	REVISIONS / SUBMISSIONS	DATE

PROJECT TITLE	WARRENTON STORAGE
DRAWING TITLE	UTILITY PLAN
REVIEWED	: CNH
DRAWN	: TRH
PROJECT NO.	: 2309-01

PROJECT TITLE	WARRENTON STORAGE
DRAWING TITLE	UTILITY PLAN
DATE	: 1/5/2024
DRAWING No.	C2.0



Earth
Engineers,
Inc.

2411 Southeast 8th Avenue • Camas • WA 98607
Phone: 360-567-1806 • Fax: 360-253-8624
www.earth-engineers.com

July 13, 2018

Northwest Natural
220 Northwest 2nd Avenue
Portland, Oregon 97209
Attention: Wayne Pipes

Phone: 503-721-2496
E-mail: wayne.pipes@nwnatural.com

**Subject: Preliminary Geotechnical Investigation and Seismic Site Hazard Report
Proposed Resource Center
Vacant Lot North of 2320 Southeast Dolphin Avenue
Warrenton, Clatsop County, Oregon
Tax Lot 2300 – Range 8, Township 10W, Section 34
EEI Report No. 18-113-1**

Dear Mr. Pipes:

Earth Engineers, Inc. (EEI) is pleased to transmit our Preliminary Geotechnical Investigation and Seismic Site Hazard Report for the above referenced project. This report includes the results of our field investigation, an evaluation of geotechnical factors that may influence the proposed construction, a seismic site hazard study, a detailed liquefaction study, and preliminary geotechnical recommendations for building foundations, pavement design, as well as general site development.

We appreciate the opportunity to perform this geotechnical study and look forward to continued participation during the design and construction phases of this project. If you have any questions pertaining to this report, or if we may be of further service, please contact our office at 360-567-1806.

Sincerely,
Earth Engineers, Inc.

Travis Willis, P.E.
Principal Geotechnical Engineer

Reviewed by:

Troy Hull, P.E., G.E.
Principal Geotechnical Engineer

Distribution: Addressee (1 electronic copy)
Larry Atchison – Urban Resources Inc. (larry@urbanresourcesinc.com)

TABLE OF CONTENTS

	Page No.
1.0 PROJECT INFORMATION.....	1
1.1 Project Authorization	1
1.2 Project Background.....	1
1.3 Purpose and Scope of Services.....	3
2.0 SITE AND SUBSURFACE CONDITIONS	5
2.1 Site Location and Description.....	5
2.2 Mapped Soils and Geology.....	6
2.3 Subsurface Materials	7
2.4 Groundwater Information	8
2.5 Liquefaction	9
2.6 Infiltration Test Data.....	9
3.0 SEISMIC SITE HAZARD STUDY.....	11
3.1 Introduction.....	11
3.2 Plot Showing Location of Test Borings and/or Excavation	11
3.3 Descriptions and Classification of Soils Encountered	11
3.4 Groundwater Information	11
3.5 Geologic Profile Extending to Bedrock	11
3.6 Regional, Geologic, Tectonic and Seismic Settings	12
3.7 Literature Review of Regional Seismic and Earthquake History	13
3.8 Seismic Source Selection Criteria and Design Earthquake Recommendations...	15
3.9 Evaluation of Site-Specific Seismic Hazards	19
3.10 Recommendations for Site Preparation and Foundation Type	21
4.0 EVALUATION AND FOUNDATION RECOMMENDATIONS.....	22
4.1 Geotechnical Discussion.....	22
4.2 General Site Preparation.....	23
4.3 Structural Fill	24
4.4 Preliminary Foundation Recommendations	24
4.5 Floor Slabs.....	25
4.6 Pavement Recommendations	26
5.0 CONSTRUCTION CONSIDERATIONS	28
5.1 Moisture Sensitive Soils/Weather Related Concerns.....	28
5.2 Drainage and Groundwater Considerations.....	28
5.3 Excavations	28
6.0 REPORT LIMITATIONS.....	30
APPENDICES:	
Site Location Plan, Appendix A	
Exploration Location Plan, Appendix B	
Records of Subsurface Exploration, Appendix C	
Lab Test Results, Appendix D	
Soil and Rock Classification Legends, Appendix E	
ReMi Test Results Report, Appendix F	
Seismic Hazard Deaggregation, Appendix G	
LiquefyPro Output, Appendix H	
Scaled 5% Damped Psuedospectral Acceleration Spectra, Appendix I	

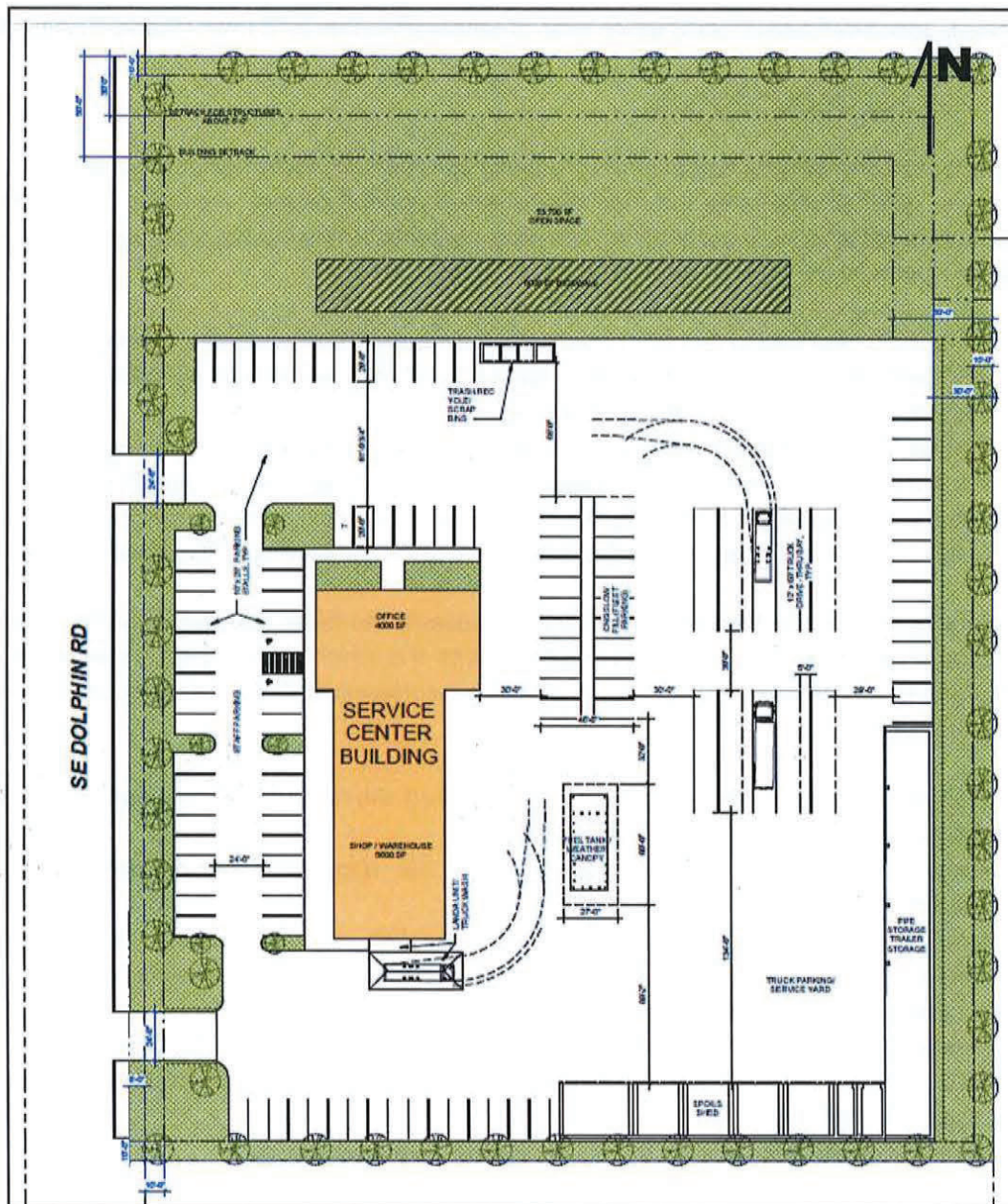


Figure 1: Site plan "Option A" showing the proposed development – prepared by LRS Architects.

Since the project is still within the early stages (feasibility), we have not been provided any foundation loading or grading information. For the purposes of this report, we have preliminarily assumed maximum column and wall loads of 75 kips and 4 kips per linear foot, respectively. We have also assumed that maximum cuts and fills to achieve final design grades will not exceed about 3 feet.

Finally, we understand that Northwest Natural wishes to construct the development (or at least some of the buildings) as an "essential facility"; a Risk Category IV in accordance with the 2014 Oregon

exploration logs regarding odors, colors, and unusual or suspicious items or conditions are strictly for informational purposes. An environmental assessment is typically advisable.



Photo 2: Bottom of the existing ravine/swale looking east.

In terms of existing vegetation, the site was predominately vegetated with grasses and weeds. However, fairly tall shrubs (scotch-broom) was located around the drainage feature discussed immediately above.

2.2 Mapped Soils and Geology

The subject property is located on an alluvial terrace on the east side of the Skipanon River, about 3 miles south of the Columbia River, in the southeast portion of the Clatsop Plains. The Clatsop Plains are a large coastal lowland region that extends from mouth of the Columbia south to Seaside and east along the south side of Young's Bay. The region has been built up with marine and dune sands overlying older marine sedimentary deposits. In the vicinity of the subject property, the geology is mapped as Quaternary alluvial terrace deposits¹. These consist of massive to faintly bedded, buff to gray, silt and clay deposits. They are often less than 20 feet thick but may be up to 50 feet thick. They are underlain by marine terrace deposits and marine sedimentary deposits.

The surface soils in the vicinity of the subject property are mapped as Walluski silt loam, 0 to 7 percent slopes². The Walluski silt loam is a moderately well-drained soil formed on fluvio-marine and stream terraces from mixed alluvium and/or fluvio-marine deposits derived from sedimentary rock.

¹ Schlicker, H.G., Beaulieu, J.D., Olcott, G.W. and Deacon, R.J., 1972, Environmental Geology of the Coastal Region of the Tillamook and Clatsop Counties, Oregon: Oregon Department of Geology and Mineral Industries Bulletin 74, scale 1:62,500.

² Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available online at <http://websoilsurvey.nrcs.usda.gov/> accessed 7/3/2018.

The sample in B-4 at 30 feet also included light grey lenses less than 2mm thick, possible diatomaceous earth was found in B-7 at 30', and in B-9 clayey gravel extended throughout the upper 8 feet of the mudstone. We believe this mudstone to be the upper reaches of the terrace deposits outlined in Section 2.2. It should be noted that the strength of the rock was found to be highly variable – N_{60} values throughout the stratum ranged from 13 to 90.

As noted above, a ReMi test was also performed by Earth Dynamics and the report is attached as Appendix F and discussed in further detail in Section 3.5. The shear wave velocities obtained from this study gave an average shear wave velocity for the upper 100 feet of 895 feet per second. This translates into an average seismic Site Class D as defined by Table 20.3-1 of ASCE 7-10, which was adopted by the 2014 OSSC. The shear wave profile was used in our SHAKE computer program analysis.

The above subsurface description is of a generalized nature to highlight the major subsurface stratification features and material characteristics. The exploration logs included in the Appendix should be reviewed for specific information at specific locations. These records include soil and rock descriptions, stratifications, and locations of the samples. The stratifications shown on the logs represent the conditions only at the actual exploration locations. Given that the site has been worked in the past and structures have existed and still exist on the project site, it should be assumed that variable soil/fill conditions may occur and should be expected between locations. The stratifications represent the approximate boundary between subsurface materials and the actual transition may be gradual. Water level information obtained during field operations is also shown on these logs. The samples that were not altered by laboratory testing will be retained for 60 days from the date of this report and then will be discarded.

2.4 Groundwater Information

Due to the drilling method used, mud-rotary, we were not able to obtain groundwater levels while drilling. However, at the locations listed below, the drilled borings were flushed with water at the time of completion and groundwater readings were obtained after leaving the hole open after 24 hours. The results as well as the elevations at the ground surface (based on the referenced topographic mapping) at those locations have been included in the table below. Again, the surveyed boring locations can be found in Appendix B.

Table 1: Measured Depth to Groundwater Table After 24 Hours

Boring #	Depth to Groundwater (feet and inches)	Surface Elevation Above MSL (feet)
B-1	3' 10"	33.5
B-2	6' 7"	36.0
B-5	8' 8"	39.5
B-7	3' 11"	38.0
B-9	5' 2"	35.5

It should be noted that the water table elevation can fluctuate seasonally, especially during periods of extended wet or dry weather.

seating it at least 6-inches into the bottom of a borehole. Samples were taken from the bottom of the trial locations and returned to our laboratory for testing - testing included moisture content tests, fines content analysis, and a single Atterberg Limits test. After seating the pipes, roughly 2-inches of clean gravel was placed in the bottom of the pipes to prevent scouring when water was added. 12-inches of water was then placed into the pipes and allowed to drain. Since the water did not drain completely away in the first 10-minutes, the holes required a presoak period and were left to soak overnight.

After the overnight pre-soak, we placed 12-inches of clean water in each of the pipes and timed the fall of the water until consistent results were observed. The results of our infiltration tests are shown in Table 2 below. **The results should be considered ultimate values and do not include a factor of safety. Given the variability in the rates below, we recommend that during construction a field verification test be performed to ensure the infiltration rates during construction are consistent with the values shown below in Table 2.**

Table 2: Infiltration Test Results by Trial.

Test #	Depth (feet)	% Fines	Soil Description	% Moisture	Infiltration Rate (inches/hour)*
IT-1	5	59%	Tan elastic silt with rust mottling	61%	13.00
IT-2	5	90%		42%	0.88
IT-3	5	94%		42%	3.25

*No safety factors have been provided in the rates above.

The Atterberg Limits test resulted in a liquid limit of 50, a plastic limit of 30, and a plasticity index of 20 from the sample obtained from IT-3.

As stated in Section 2.3, the average seismic shear wave velocity (according to the ReMi analysis) when considering the upper 100 feet of soil and rock is 895 feet per second. Per the 2014 Oregon Structural Specialty Code, this site has a seismic Site Class of "D".

3.6 Regional, Geologic, Tectonic and Seismic Settings

3.6.1 Regional Geologic Setting

Refer to section 2.2 of this report for the regional geologic setting.

3.6.2 Regional Tectonic and Seismic Setting

Oregon's position at the western margin of the North American Plate and its position relative to the Pacific and Juan de Fuca plates has had a major impact on the geologic development of the state. The interaction of the three plates has created a complex set of stress regimes that influence the tectonic activity of the state. The western part of Oregon is heavily impacted by the influence of the active subduction zone formed by the Juan de Fuca Oceanic Plate converging upon and subducting beneath the North American Continental Plate off the Oregon coastline. The Columbia Plateau, further to the east, is associated with north-south compression created by the interaction of the Pacific plate with the North American plate³. In Oregon, three principal types of earthquakes characterize tectonic earthquake source mechanisms:

1. **Cascadia Subduction Zone (CSZ), or "Interface" earthquakes** occur on the seismogenic part of the interface between the North American plate and the Juan de Fuca plate as a result of convergence of the two plates. According to the Probabilistic Seismic Hazard Deaggregation on the USGS website, the Cascadia Subduction Zone is located approximately 25 kilometers from the site. This is a potential source of earthquakes large enough to cause ground shaking at the subject site. Research over the last several years has shown that this offshore fault zone has repeatedly produced large earthquakes every 300 to 700 years. It is generally understood that the last great CSZ earthquake occurred about 300 years ago, in 1700AD. Although researchers do not agree on the likely magnitude, it is widely believed that earthquakes of at least moment magnitude (M_w) 8.5 to 9.5 are possible. The duration of ground shaking could last several minutes.
2. Relatively deep **"Intraslab" earthquakes** occur 30 to 50 kilometers beneath the surface, within the seismogenic part of the subducting Juan de Fuca plate. Intraslab earthquakes originate from within the subducting Juan de Fuca Oceanic Plate. These earthquakes occur no less than 30 kilometers beneath the surface and are not usually associated with visible faults. It has only been possible to distinguish intraslab earthquakes in western Oregon for the past few decades. Numerous small intraslab earthquakes have been recorded beneath western Oregon beneath the Coast Range. An estimated magnitude 6.7 earthquake near the coastal town of Port Orford in 1873

³ Geomatrix Consultants, January 1995. "Seismic Design Mapping, State of Oregon" prepared for Oregon Department of Transportation.



Figure 2: Quaternary Faults.

Oregon since the 1940's, although the density and quality of seismometers was poor for much of that time. Given the above limitations, there are large uncertainties in predicting future earthquakes based on past history. It is very likely that we don't have a complete understanding of earthquake location, frequency and magnitude that could affect this site.

Based on the limited database of actual earthquake records, it is our opinion that the probabilistic data available from the 2014 USGS national probabilistic seismic hazard model is a good measure of likelihood of earthquake activity in the future. The USGS website (<https://earthquake.usgs.gov/hazards/interactive/>) provides a deaggregation of the principal sources that contribute to seismic hazard at a specified site. Appendix G shows the deaggregation for seismic hazards that could impact this site. The deaggregation charts indicate the most influential seismic activity is located within about 35 km of the site. The larger seismic activity (i.e. higher magnitude) is interpreted to be associated with the Cascadia Subduction Zone. It is our opinion that Cascadia Subduction Zone earthquakes are the most likely major earthquake threats for the project site considering the 2,475 year event.

3.8.2 Design Earthquake Recommendations

As discussed in this report, the site has potentially liquefiable soils which would put the Site Class as F. However, there is a code allowance that permits use of the Site Class determined in accordance with Table 20.3-1 of the ASCE 7-10 if the building's fundamental period is not greater than 0.5 seconds. The general assumption is that a structure's fundamental period may be estimated based on multiplying 0.1 seconds times the number of stories. Given that the tallest structure suggested for the site is a 2-story building, we estimate the fundamental building period will be no greater than about 0.2 seconds. Therefore, we recommend a Site Class D (i.e. stiff soil profile) for this site when considering the average of the upper 100 feet of soil. The Structural Engineer should determine the actual fundamental building period and notify us if it is greater than 0.5 seconds.

Inputting our recommended Site Class as well as the site latitude (46.13941) and longitude (-123.91971) into the USGS Seismic Design Maps Application (updated March 19, 2018) computer program, we obtained the seismic design parameters shown in Table 4 below. The return interval for these ground motions is 2 percent probability of exceedance in 50 years.

Table 5: Summary of Selected Earthquake Records

Earthquake	Recording Station	Magnitude	Distance (km)	Measured Peak Horizontal Ground Acceleration (g)
Loma Prieta (shallow crustal event)	Anderson Dam Downstream, 360, USGS Station #1652)	6.9	Approx. 30	0.26
Northridge, 1/17/94 (shallow crustal event)	Montebello Bluff (USC Station)	6.7	45	0.16
Whittier Narrows, 10/1/1987 (shallow crustal event)	CDMG Station 2400	5.9	14	0.61
El Salvador, 1/13/2001 (deep subduction event)	Observatorio	7.6	91	0.42
Michoacan, Mexico, 9/19/1985 (deep subduction event)	La Union	8.1	15	0.17
Valparaiso, Chile, 3/3/1985 (deep subduction event)	U.F.S.M	8.0	101	0.17

Our subsurface model used in SHAKE analysis to develop a site specific response spectrum was based on our SPT boring logs and ReMi test included in Appendices C and F.

Our site response analysis was completed using Shake2000 computer software by Geomotions. The time histories listed in Table 5 above were scaled using Shake2000 in accordance with Section 16.1.3.1 of ASCE 7-10, which states that the ground motions should be scaled such that the average value of the 5 percent damped response spectra for the suite of motions is not less than the design response spectrum for the site for the natural period of the structure (T) ranging between 0.2T and 1.5 T. For this project, we assumed T was about 0.1 seconds.. The scaled 5% damped psuedospectral accelerations for Site Class B are summarized graphically in Appendix H. The scaled 5% damped psuedospectral accelerations were then used to compute the design acceleration response spectra for the Site Class D. Figure 3 below represents the average of the six ground motions and the code based design spectra for Site Class D. The project Structural Engineer may use our calculated site specific response spectra shown in Figure 3 below. Referring to Figure 3 below, for a period less than about 0.8 seconds, the code-based response spectrum should be used. For periods greater than about 0.8 seconds, our site-specific response spectrum may be used. However, where our site-specific response spectrum is used in the structural design, the reduced spectral acceleration is not permitted to be less than 80 percent of the code-based response spectrum value. For example, at a period of 2 seconds, the code-based spectral acceleration is about 0.3g and our site-specific spectral acceleration is about 0.09 seconds. To

3.9.2 Earthquake Induced Ground Subsidence

Based on the fact that the site is underlain by soft (loose) to medium stiff (medium dense) silty sand and silts with a relatively high ground water table around 3 feet below the existing ground surface, the risk of earthquake induced ground subsidence is considered moderate to high. Given the depth of the potentially liquefiable soils at approximately 3 to 37 feet (B-4), any ground subsidence due to earthquake shaking is anticipated to directly affect the ground elevations at the site (generally non-uniform across the site with high differential settlements). As such, we recommend the use of a deep foundation system to mitigate the anticipated dynamic settlement and the installation of flexible utility connections where the utilities come into the buildings/structures (if the site settles and the building doesn't, utilities could become unusable).

3.9.3 Liquefaction and Lateral Spread Hazard

For liquefaction, please refer to Section 2.6. Since the site does not border a relatively deep waterway and is relatedly flat, we consider the risk of lateral spread at the site to be low. We do not recommend any mitigation measures.

3.9.4 Earthquake-Induced Landslide Hazard

Given the flat site topography, we consider the risk of earthquake-induced landslide hazard at the site to be low. We do not recommend any mitigation measures.

3.9.5 Tsunami and Seiche Hazards

A tsunami, or seismic sea wave, is produced when a fault under the ocean floor shifts vertically, displacing the seawater above it. A seiche is a periodic oscillation of a body of water that results in a change of water levels. Seiche is not considered to be hazards at this site because the site is not adjacent to large body of water. Additionally, tsunami is not considered a hazard, because according to the interactive tsunami evacuation map available via the State of Oregon's Department of Geology and Mineral Industries (<http://www.oregongeology.org/gis/>) the site is outside of the known tsunami hazard zone, see Figure 4 below.

4.0 EVALUATION AND FOUNDATION RECOMMENDATIONS

4.1 Geotechnical Discussion

The primary factors influencing the proposed construction include:

1. **The presence of potentially liquefiable soils.** Our analysis of the subsurface soils included a detailed liquefaction analysis using Liquefy Pro. We have determined that the soils encountered in our explorations between approximately 3 and 37 feet are potentially liquefiable. This liquefaction could result in as much as 6 to 6.5 inches of total dynamic settlement. We estimate differential settlement could be as much as 75 percent of the total settlement. We recommend mitigating the liquefiable soils through the installation of a deep foundation system. Floor slabs should also be structural (i.e. not supported by the subgrade). Any structure not supported on a deep foundation system should be considered sacrificial, as it may not be able to withstand greater than normal total and differential dynamic settlement cause by liquefaction during an earthquake.

Additionally, given the depth to the potentially liquefiable soils (3 feet), there is a high risk that any structures founded upon typical shallow foundations could experience a temporary loss of soil support during a design level earthquake. This means that the structure could literally sink into the ground, preventing access both to and from the structure.

2. **Fine-grained soils in a wet condition near the surface in the planned parking areas and drive lanes.** Based on our SPT borings, it appears that the near surface soils are typically wet—the strength of the soils typically ranged from medium stiff to stiff in upper 2.5 feet. Fine-grained soils which have moisture contents more than about 2 percentage points above the optimum moisture are generally prone to softening when dynamic loads such as those generated by the wheels of construction equipment are imposed upon them even if the soils exhibited substantial strength in an undisturbed state. After disturbance, these fine-grained soils typically rut and deflect significantly and do not provide adequate subgrade support for floor slabs, foundations, pavements, or fill placement. This may result in the need for deep undercutting and replacement of the disturbed soils. The owner may want to consider an allowance in the construction budget to cover this condition.
3. **The presence of uncontrolled fill.** As stated in Section 2.1, pieces of charcoal were found within the fine-grained soils up to a depth of 31 feet bgs in B-3 – this is not uncommon for coastal sites. Additionally, signs of tilling were found in B-4 through B-6, which could indicate past grading activities took place on site. While no identifiable deep fill or tilling zones were encountered, it should be noted that any structures bearing on fill or tilled soil may encounter excessing differential settlement. The deep foundation system proposed to mitigate the liquefiable soils, will also prevent the development from issues associated with uncontrolled fill and loose tilled soil.

slopes will need to be protected from erosion during the wetter winter months with either grass seeding or jute mat.

Finally, since we anticipate that the fine-grained soils on this site will be difficult to work with during wet weather conditions, the contractor may also need to construct temporary construction roads.

4.3 Structural Fill

Structural fill materials should be free of organic or other deleterious materials, have a maximum particle size generally less than 3 inches, be relatively well graded, and have a liquid limit less than 45 and plasticity index less than 25. In our professional opinion, the on-site soils would not be appropriate for use as structural fill as their liquid limit is in excess of 45. However, they could be used as structural fill if chemically amended through the addition of cement.

We recommend fill be moisture conditioned to within 3 percentage points below and 2 percentage points above optimum moisture as determined by ASTM D1557 (Modified Proctor). If water must be added, it should be uniformly applied and thoroughly mixed into the soil by disking or scarifying. Fill should be placed in a relatively uniform horizontal lift on the approved subgrade. Each loose lift should be no greater than about 1-foot. The type of compaction equipment used will ultimately determine the maximum lift thickness. Structural fill should be compacted to at least 95 percent of Modified Proctor maximum dry density as determined by ASTM Designation D 1557. Each lift of compacted engineered fill should be tested by a representative of the Geotechnical Engineer prior to placement of subsequent lifts. The fill should extend horizontally outward beyond the exterior perimeter of buildings and pavement at least 5 and 3 feet, respectively.

4.4 Preliminary Foundation Recommendations

As stated above, the recommendations should be considered preliminary until more development plans are known. However, based on the results of our field work, laboratory evaluation and our engineering analysis, it is our opinion that the proposed resource center and supplemental structures should be supported on a deep foundation system that penetrates into the underlying soft rock stratum. Mudstone was first encountered at depths ranging from 19 feet to 35 feet in our explorations. It should also be noted that the competency of the rock was found to be highly variable, making it difficult to anticipate the pile lengths needed.

We considered a number of deep foundation options, including driven steel pipe piles, driven steel H-piles, driven grout piles, reinforced concrete drilled piers, and reinforced concrete auger-cast piles. We have assumed since driven steel piles are likely the least expensive, and the site is not located within a residential area, that these would be the type of pile likely considered. **At this point we are assuming that the project is proceeding with an open-ended, driven steel pipe pile option, in particular a 12-inch pipe pile due to the fact that pipe piles are less expensive than H-piles and will have a higher axial capacity considering the on-site soils. Note that if the building will have relatively high lateral loading requirements, then H-piles may be more efficient than pipe piles.**

4.6 Pavement Recommendations

The following pavement recommendations are presented as preliminary for your consideration. The Civil Engineer for the project may have more traffic and project design data available than is presently known and may wish to modify and refine our pavement section thickness recommendations. We are available, upon request, to provide a more detailed pavement design if more definitive traffic plans are available. Additionally, this design is based off of an assumed CBR value; as indicated above, a project specific CBR test is in progress and the pavement design detailed below will be altered to reflect those results once the test has been completed. The updated design will be submitted under a different cover.

The thickness recommendations presented below are considered typical and minimum for the assumed parameters. We understand that budgetary considerations sometimes warrant thinner pavement sections than those presented. However, the client, the owner, and the project principals should be aware that thinner pavement sections might result in increased maintenance costs and lower than anticipated pavement life.

Prior to placing the base or leveling course, paving surfaces should be prepared as discussed in Section 4.2 of this report. Areas found to be soft by the Geotechnical Engineer during the proof-rolling activities (i.e. deflecting/rutting more than about 1-inch under the weight of the truck) after the native soils have been recompacted, should be overexcavated and replaced with structural fill as defined by Section 4.3 of this report.

Asphalt pavement base course material should consist of a well-graded, 1½-inch or ¾-inch-minus, crushed rock, having less than 5 percent material passing the No. 200 sieve. The base course and asphaltic concrete materials should conform to the requirements set forth in the latest edition of the State of Oregon's Standard Specifications for Highway Construction. Base course material should be moisture conditioned to within ± 2 percent of optimum moisture content, and compacted to a minimum of 95 percent of the material's maximum dry density as determined in accordance with ASTM D1557 (Modified Proctor). Fill materials should be placed in layers that, when compacted, do not exceed about 8 inches. Asphaltic concrete material should be compacted to at least 91 percent of the material's theoretical maximum density as determined in accordance ASTM D2041 (Rice Specific Gravity).

Based on the results of a CBR test completed for this project, we have assumed the subgrade soils will be prepared to a California Bearing Ratio (CBR) of at least 4. This CBR value is based on the assumption that the roadway beds will be prepared as discussed above. We have also assumed a pavement life of 20 years, a terminal serviceability of 2.0 (poor condition), and traffic loading of 5 ESALS for car parking and 40 ESALS for the main drive lanes. The project Civil Engineer should review our traffic loading assumptions and notify us if they need to be revised. Making these assumptions, it is possible to use a locally typical "standard" pavement section consisting of the following:

5.0 CONSTRUCTION CONSIDERATIONS

EEl should be retained to provide observation and testing of construction activities involved in the foundation, earthwork, and related activities of this project. EEl cannot accept any responsibility for any conditions that deviate from those described in this report, nor for the performance of the foundations if not engaged to also provide construction observation for this project.

5.1 Moisture Sensitive Soils/Weather Related Concerns

The upper soils encountered at this site are expected to be sensitive to disturbances caused by construction traffic and to changes in moisture content. During wet weather periods, increases in the moisture content of the soil can cause significant reduction in the soil strength and support capabilities. In addition, soils that become wet may be slow to dry and thus significantly retard the progress of grading and compaction activities. It will, therefore, be advantageous to perform earthwork and foundation construction activities during dry weather.

5.2 Drainage and Groundwater Considerations

Water should not be allowed to collect in the foundation excavations or on prepared subgrades for the floor slab during construction. Positive site drainage should be maintained throughout construction activities. Undercut or excavated areas should be sloped toward one corner to facilitate removal of any collected rainwater, groundwater, or surface runoff.

The site grading plan should be developed to provide rapid drainage of surface water away from the building areas and to inhibit infiltration of surface water around the perimeter of the building and beneath the floor slab. The grades should be sloped away from the building area. Roof and driveway runoff should be piped (tightlined) to either an approved system or to an existing storm sewer. Alternately, it can be discharged upon a paved surface adjacent to the building where the water is allowed to sheet flow away from the building.

5.3 Excavations

In Federal Register, Volume 54, No. 209 (October 1989), the United States Department of Labor, Occupational Safety and Health Administration (OSHA) amended its "Construction Standards for Excavations, 29 CFR, part 1926, Subpart P". This document and subsequent updates were issued to better insure the safety of workmen entering trenches or excavations. It is mandated by this federal regulation that excavations, whether they be utility trenches, basement excavations or footing excavations, be constructed in accordance with the new OSHA guidelines. It is our understanding that these regulations are being strictly enforced and if they are not closely followed, the owner and the contractor could be liable for substantial penalties.

The contractor is solely responsible for designing and constructing stable, temporary excavations and should shore, slope, or bench the sides of the excavations as required to maintain stability of

6.0 REPORT LIMITATIONS

As is standard practice in the geotechnical industry, the conclusions contained in our report are considered preliminary because they are based on assumptions made about the soil, rock, and groundwater conditions exposed at the site during our subsurface investigation. A more complete extent of the actual subsurface conditions can only be identified when they are exposed during construction. Therefore, EEI should be retained as your consultant during construction to observe the actual conditions and to provide our final conclusions. If a different geotechnical consultant is retained to perform geotechnical inspection during construction then they should be relied upon to provide final design conclusions and recommendations, and should assume the role of geotechnical engineer of record.

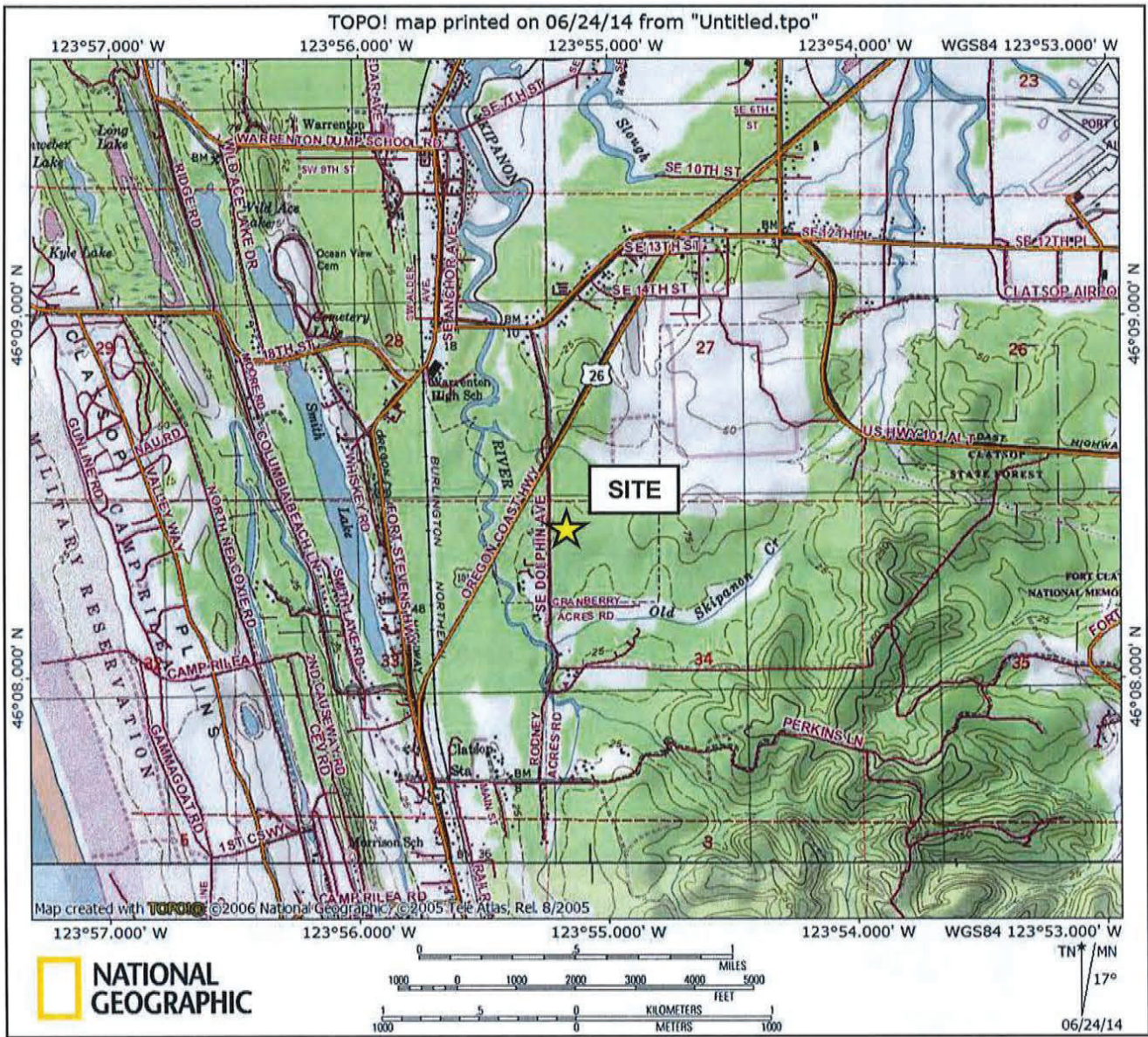
The geotechnical recommendations presented in this report are based on the available project information, and the subsurface materials described in this report. If any of the noted information is incorrect, please inform EEI in writing so that we may amend the recommendations presented in this report if appropriate and if desired by the client. EEI will not be responsible for the implementation of its recommendations when it is not notified of changes in the project.

Once construction plans are finalized and a grading plan has been prepared, EEI should be retained to review those plans, and modify our existing recommendations related to the proposed construction, if determined to be necessary.

The Geotechnical Engineer warrants that the findings, recommendations, specifications, or professional advice contained herein have been made in accordance with generally accepted professional geotechnical engineering practices in the local area. No other warranties are implied or expressed.

This report has been prepared for the exclusive use of Northwest Natural for the specific application to the proposed Northwest Natural Resource Center to be constructed on the vacant lot north of 2320 Southeast Dolphin Avenue. EEI does not authorize the use of the advice herein nor the reliance upon the report by third parties without prior written authorization by EEI.

APPENDIX A – SITE LOCATION PLAN




Earth
Engineers,
Inc.

Proposed Northwest Natural Resource Center
Vacant Lot North of 2320 Southeast Dolphin Avenue
Warrenton, Clatsop County, Oregon
Tax Lot 2300 – Range 8, Township 10W, Section 34

Report No.
18-113-1

July 13, 2018


APPENDIX C: BORING B-1

CLIENT: Northwest Natural				EARTH ENGINEERS, INC. REPORT NO.: 18-113-1							
PROJECT: Proposed Resource Center				EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary							
LOCATION: See Appendix B				APPROXIMATE ELEVATION: 33.5 feet msl							
DATE DRILLED: 6/20/2018				LOGGED BY: K. Andrieu							
DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
			TOPSOIL - brown silt with roots (4 inches thick)								
			ELASTIC SILT (MH) - tan with rust mottling, wet, stiff								
	SPT-1			2							
				3	9				38	2.50	
5			becomes wet with some sand	3							
				2					41	1.25	
	SPT-2		SILTY SAND (SM) - tan with rust mottling, wet, loose	2	7				38		
				3							
				2							
	SPT-3		becomes medium dense	5	12				30		
				3							
10				4							
	SPT-4			3	10				44		
				4							
			ELASTIC SILT (MH) - gray, wet, very soft, with sand								soft drilling
15				0							
	SPT-5			0	0				64	<0.25	
				0							
				2					61		
20			POORLY GRADED SAND (SP) - gray, wet, loose	3	23				37	2.50	hard drilling
	SPT-6		MUDSTONE - gray, laminated, friable, very soft rock	13					4.50+		
25											

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-2

CLIENT: Northwest Natural	EARTH ENGINEERS, INC. REPORT NO.: 18-113-1
PROJECT: Proposed Resource Center	EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary
LOCATION: See Appendix B	APPROXIMATE ELEVATION: 36 feet msl
DATE DRILLED: 6/20/2018	LOGGED BY: K. Andrieu

DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
			TOPSOIL - brown silt with roots (4 inches thick)	3							
	SPT-1		ELASTIC SILT (MH) - brown, wet, stiff	4 4	12				54	2.00	
			becomes tan with rust mottling, medium stiff	1 2 2	6				50	1.00	
5											
	SPT-3			1 2 3	7				47	1.50	
			SILTY SAND - tan, rust mottled, wet, loose	1 2 2	6				35		
10											
	SPT-5		becomes medium dense	3 6 7	19				37		
			ELASTIC SILT (MH) - gray, wet, very soft with sand								soft drilling gray cuttings
15											
	SPT-6			0 0 1	1				65	<0.25	
20											
	SPT-7			1 1 1	3				41		
											End Soft Drilling at 23'
25											

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-3

CLIENT: Northwest Natural		EARTH ENGINEERS, INC. REPORT NO.: 18-113-1									
PROJECT: Proposed Resource Center		EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary									
LOCATION: See Appendix B		APPROXIMATE ELEVATION: 34 feet msl									
DATE DRILLED: 6/22/2018		LOGGED BY: K. Andrieu									
DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
	SPT-1		TOPSOIL - brown silt with roots (4 inches thick)	2							
			ELASTIC SILT (MH) - brown, some roots and wood, some charcoal, crumbly (potentially tilled)	2 3	7				65		
			ELASTIC SILT (MH) - brown, wet, stiff								
	SPT-2			2 4 5	13				55	2.00	
5			becomes soft								
	SPT-3		some sand-at 6'	1 2 1	4				53	1.25	
	SPT-4			0 0 2	3				43	0.50	
10			SILTY SAND - tan, rust mottled, wet, medium dense								
	SPT-5			5 6 8	20				33		
			ELASTIC SILT (MH) - gray silt with trace sand, wet, very soft								soft drilling
15											
	SPT-6			0 0 0	0				68	<0.25	
20											
	SPT-7			0 0 0	0				56	<0.25	
25											

EARTH ENGINEERS, Inc.


APPENDIX C: BORING B-4

CLIENT: Northwest Natural		EARTH ENGINEERS, INC. REPORT NO.: 18-113-1									
PROJECT: Proposed Resource Center		EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary									
LOCATION: See Appendix B		APPROXIMATE ELEVATION: 39 feet msl									
DATE DRILLED: 6/21/2018		LOGGED BY: K. Andrieu									
DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (l.s.f.)	REMARKS
			TOPSOIL - brown silt with roots (4 inches thick)	1							
	SPT-1		ELASTIC SILT (MH) - brown, wet, stiff (potentially filled)	3	9				85	0.50	
			ELASTIC SILT (MH) - orangeish brown and rust mottled, wet, medium stiff	3							
	SPT-2			1							
				3	7				56	0.75	
				2							
5											
	SPT-3		contains scattered black sand and rust veins, wet, soft	1							
				1	3				98	0.75	
				1							
	SPT-4		Becomes tan with rust mottling, medium stiff	0							
			with sand	2	6	84			47	0.75	
				2							
10											
	SPT-5		SILTY SAND (SM) - tan silty sand, rust mottled, wet, loose	5							
			dark gray at 11'	2	6	48			45		
				2							
15											
	SPT-6		becomes medium dense with some organics	4							
				4	12	31			49		
				4							
			ELASTIC SILT (MH) - gray, wet, very soft								soft drilling
20											
	SPT-7			0							
				0	3	90			59	0.00	
				2							end of soft drilling
			SILTY SAND (SM) - dark gray, wet, medium dense								
25											

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-5

CLIENT: Northwest Natural	EARTH ENGINEERS, INC. REPORT NO.: 18-113-1
PROJECT: Proposed Resource Center	EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary
LOCATION: See Appendix B	APPROXIMATE ELEVATION: 39.5 feet msl
DATE DRILLED: 6/20/2018	LOGGED BY: K. Andrieu

DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
			TOPSOIL - brown silt with roots (4 inches thick)	1							
	SPT-1		ELASTIC SILT (MH) - brown, wet, stiff, with trace roots (potentially tilled)	3 3	9				65	1.50	
			ELASTIC SILT (MH) - brown with tan nodules, wet, medium stiff	1							
	SPT-2		becomes tan with rust mottling at 3.5'	2 3	7				67	1.25	
5											
	SPT-3		some sand, trace charcoal flecks, moist to wet, becomes soft	1 1 2	4				81	0.50	
	SPT-4		becomes medium stiff	2 3 3	9				57	1.25	
10											
	SPT-5		same with 1"-2" lenses of tan/rust silty sand, wet	1 2 2	6				43	0.25	
			SILTY SAND (SM) - dark gray, wet, medium dense, medium grained								soft drilling gray cuttings
15											
	SPT-6			7 9 4	19				35		
20											
	SPT-7		ELASTIC SILT (MH) - gray, wet, very soft, trace fine sand	0 0 0	0				58	<0.25	
			becomes more competent								firm drilling
25											

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-6


CLIENT: Northwest Natural	EARTH ENGINEERS, INC. REPORT NO.: 18-113-1
PROJECT: Proposed Resource Center	EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary
LOCATION: See Appendix B	APPROXIMATE ELEVATION: 38 feet msl
DATE DRILLED: 6/22/2018	LOGGED BY: K. Andrieu

DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
			TOPSOIL - brown silt with roots (4 inches thick)	2							
	SPT-1		ELASTIC SILT (MH) - brown, wet, stiff with trace roots (potentially tilled)	2 2	6				54		
			ELASTIC SILT (MH) - brown, wet, medium stiff								
	SPT-2		becomes tan with rust mottling	1 2 3	7				58	1.00	
5			becomes soft								
	SPT-3			1 1 2	4				60	0.75 to 2.00	
	SPT-4		contains a more significant amount of sand, wet at 8.5'	0 0 2	3	84			48	1.00	
10											
	SPT-5			1 2 1	4	63			46	0.75	
			becomes medium stiff								
15	SPT-6		ELASTIC SILT (MH) - gray, wet, soft	3 2	6			11	34	<0.25	soft drilling
			becomes very soft								
	SPT-7			0 0 0	0	95			64	<0.25	
25											end of soft drilling

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-7

CLIENT: Northwest Natural	EARTH ENGINEERS, INC. REPORT NO.: 18-113-1
PROJECT: Proposed Resource Center	EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary
LOCATION: See Appendix B	APPROXIMATE ELEVATION: 38 feet msl
DATE DRILLED: 6/21/2018	LOGGED BY: K. Andrieu

DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
	SPT-1		TOPSOIL - brown silt with roots (4 inches thick)	2							
			ELASTIC SILT (MH) - brown, wet, stiff with trace roots	3	10				51	2.50	
				4							
	SPT-2		becomes tan with rust mottling, wet, medium stiff	1	6				62	0.75	
				2							
5				2							
	SPT-3			1	6				49	1.00	
				2							
				2							
				0					46		
	SPT-4		SILTY SAND (SM) - tan with rust mottling, wet, loose	2	6				38		
				2							
10											
	SPT-5		becomes gray	0	4				48		
				1							
				2							
15											
	SPT-6			4	4				46	0.00	
				2							
			ELASTIC SILT (MH) - gray, wet, soft, with some sand	1					63		soft drilling
20											
	SPT-7			0	3				50	<0.25	
				1							
				1							end soft drilling
			MUDSTONE - gray very soft rock/hard clay, fractured, wet								
25											

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-8


CLIENT: Northwest Natural	EARTH ENGINEERS, INC. REPORT NO.: 18-113-1
PROJECT: Proposed Resource Center	EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary
LOCATION: See Appendix B	APPROXIMATE ELEVATION: 37.5 feet msl
DATE DRILLED: 6/21/2018	LOGGED BY: K. Andrieu

DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
	SPT-1		TOPSOIL - brown silt with roots (4 inches thick with 1" red bark mulch)	2							
			ELASTIC SILT (MH) - brown, wet, medium stiff	2	6				47	1.50	
	SPT-2		becomes rust mottled.	2							
				2	7				59	0.75 to 2.00	
5	SPT-3		becomes tan with rust mottling.	1							
				2	7				49	2.00	
				3							
	SPT-4		SILTY SAND (SM) - tan with rust mottling, wet, loose	1							
				2	4				48	0.75	
				1							gray clay in shoe
10	SPT-5		ELASTIC SILT (MH) - gray, wet, soft, with sand and some small organics	1							
				1	4				46		
			becomes very soft	2							soft drilling
15	SPT-6			0							
				0	1				64	0.00	
				1							end of soft drilling
20	SPT-7		MUDSTONE - gray and brown, very soft rock, weathered, fractured, moist	3							
				12	42				41	4.50+	
				17							
25											

EARTH ENGINEERS, Inc.

APPENDIX C: BORING B-9

CLIENT: Northwest Natural	EARTH ENGINEERS, INC. REPORT NO.: 18-113-1
PROJECT: Proposed Resource Center	EQUIPMENT: CME 850 Tracked Drill Rig with Mud Rotary
LOCATION: See Appendix B	APPROXIMATE ELEVATION: 35.5 feet msl
DATE DRILLED: 6/21/2018	LOGGED BY: K. Andrieu

DEPTH (ft)	SAMPLE NO.	SAMPLE	SOIL DESCRIPTION	BLOWS PER 6 INCHES	N60 VALUE	% PASSING #200 SIEVE	LIQUID LIMIT	PLASTIC LIMIT	MOISTURE CONTENT (%)	POCKET PEN. (t.s.f.)	REMARKS
	SPT-1		TOPSOIL - brown silt with roots (4 inches thick)	2							
			ELASTIC SILT (MH) - brown, wet, stiff	2	9				44	2.50	
				4							
	SPT-2		becomes tan with rust mottling	2							
				3	10				40	1.75	
				4							
5											
	SPT-3		becomes wet	2							
				3	9				44	2.50	
				3							
	SPT-4		becomes sandy	1							
				1	4				45	0.75	
				2							
10											
	SPT-5			0	4						
				0					43	0.00	
				3							
15											
	SPT-6		ELASTIC SILT (MH) - gray, wet, very soft	0							
				0	0				66	0.00	soft drilling
				0							
20											
	SPT-7		includes <2" sandy lenses	0							
				0	0				60		
				0							
											end of soft drilling
25			MUDSTONE - gray, very soft rock, fractured, clayey gravel, wet								

EARTH ENGINEERS, Inc.



**APPENDIX D: LAB TEST RESULTS
REPORT OF ATTERBERG LIMITS
ASTM D 4318**

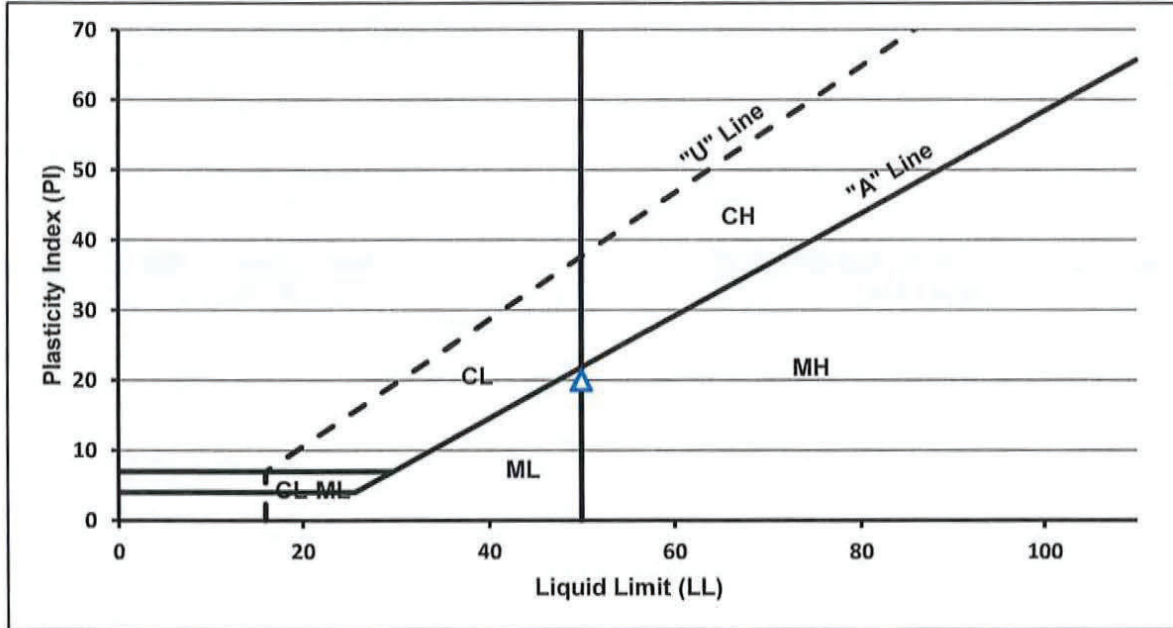
TESTED FOR: Northwest Natural
220 Northwest 2nd Avenue
Portland, Oregon 97209
Attention: Wayne Pipes

PROJECT: Proposed Resource Center
North of 2320 SE Dolphin Ave.
Warrenton, Oregon
Tax Lot 2300 - R8, 10W, Sect. 34

DATE: 7/13/2018

OUR REPORT NO.: 18-113-1

TEST DATA



Location	Depth (feet)	Description (USCS)	Moisture Content, %	% Passing #200 Sieve	Atterberg Limits		
					LL	PL	PI
△ IT-3	5'	Tan elastic silt with rust mottling	42	90	50	30	20

Remarks:
Lab Technician: AB

Respectfully Submitted,
Earth Engineers, Inc.

USCS Classification per ASTM D 2487
Moisture Content per ASTM D 2216
Percent Passing #200 Sieve per ASTM D 1140
Atterberg Limits per ASTM D 4318

Travis Willis, PE
Project Manager

Reports May Not Be Reproduced, Except In Full, Without Written Permission By Earth Engineers, Inc.

APPENDIX E: ROCK CLASSIFICATION LEGEND

WEATHERING DESCRIPTORS FOR INTACT ROCK (USBR, 2001)						
Descriptor	Chemical Weathering-Discoloration-Oxidation		Mechanical Weathering and Grain Boundary Conditions	Texture and Solutioning		General Characteristics
	Body of Rock	Fracture Surfaces		Texture	Solutioning	
Fresh	No discoloration, not oxidized	No discoloration or oxidation	No separation, intact (tight)	No change	No solutioning	Hammer rings when crystalline rocks are struck
Slightly Weathered	Discoloration or oxidation limited to surface or short distance from fractures; some feldspar crystals are dull	Minor or complete discoloration or oxidation of most surfaces	No visible separation, intact (tight)	Preserved	Minor leaching of some soluble minerals may be noted	Hammer rings when crystalline rocks are struck; body of rock not weakened
Moderately Weathered	Discoloration or oxidation extends from fractures usually throughout; Fe-Mg minerals are "rusty," feldspar crystals are "cloudy"	All fracture surfaces are discolored or oxidized	Partial separation of boundaries visible	Generally preserved	Soluble minerals may be mostly leached	Hammer does not ring when rock is struck; body of rock is slightly weakened
Intensely Weathered	Discoloration or oxidation throughout; all feldspars and Fe-Mg minerals are altered to clay to some extent or chemical alteration produces in-situ disaggregation	All fracture surfaces are discolored or oxidized; surfaces are friable	Partial separation; rock is friable; granitics are disaggregated in semi-arid conditions	Altered by chemical disaggregation such as via hydration or argillation	Leaching of soluble minerals may be complete	Dull sound when struck with hammer; usually can be broken with moderate to heavy manual pressure or by light hammer blow; rock is significantly weakened
Decomposed	Discolored or oxidized throughout, but resistant minerals such as quartz may be unaltered; all feldspars and Fe-Mg minerals are completely altered to clay		Complete separation of grain boundaries (disaggregation)	Resembles a soil; partial or complete remnant rock structure may be preserved; leaching of soluble minerals usually complete		Can be granulated by hand; resistant minerals such as quartz may be present as "stringers" or "dikes"

RELATIVE STRENGTH OF INTACT ROCK	
Descriptor	Uniaxial Compressive Strength (psi)
Extremely Strong	> 30,000
Very Strong	14,500 – 30,000
Strong	7,000 – 14,500
Medium Strong	3,500 – 7,000
Weak	700 – 3,500
Very Weak	150 – 700
Extremely Weak	< 150

BEDDING SPACING (modified USBR, 2001)	
Descriptor	Thickness or Spacing
Massive	> 10 feet
Very thickly bedded	3 to 10 feet
Thickly bedded	1 to 3 feet
Moderately bedded	3-5/8 inches to 1 foot
Thinly Bedded	1-1/4 inches to 3-5/8 inches
Very thinly bedded	3/8 inch to 1-1/4 inches
Laminated	< 3/8 inch

CORE RECOVERY CALCULATION (%)
= $\frac{\text{length of recovered core pieces}}{\text{total length of core run}} \times 100\%$

RQD CALCULATION (%)
= $\frac{\text{length of intact core pieces} > 4 \text{ in}}{\text{total length of core run (inches)}} \times 100\%$



ROCK HARDNESS (modified USBR, 2001)	
Descriptor	Criteria
Extremely hard	Cannot be scratched with pocket knife or sharp pick; can only be chipped with repeated heavy hammer blows
Very hard	Cannot be scratched with pocket knife or sharp pick; breaks with repeated heavy hammer blows
Hard	Can be scratched with pocket knife or sharp pick with heavy pressure, heavy hammer blows required to break specimen
Moderately hard	Can be scratched with pocket knife or sharp pick with light or moderate pressure; breaks with moderate hammer blows
Moderately soft	Can be grooved 1/16 inch with pocket knife or sharp pick with moderate or heavy pressure; breaks with light hammer blow or heavy hand pressure
Soft	Can be grooved or gouged with pocket knife or sharp pick with light pressure; breaks with light to moderate hand pressure
Very soft	Can be readily indented, grooved, or gouged with fingernail, or carved with pocket knife; breaks with light hand pressure

Report on Shear Wave Refraction
Microtremor Analysis (ReMi)
SE Dolphin Avenue
Warrenton, Oregon

Report Date: June 26, 2018

Prepared for:

Earth Engineers Inc.
2411 SE 8th Ave
Camas, WA 98607



Prepared by:

EARTH DYNAMICS LLC
2284 N.W. Thurman St.
Portland, OR 97210
(503) 227-7659
Project No. 18205

Data reduction is completed in two steps. First, the time versus amplitude seismic records are transformed into spectral energy shear wave frequency versus shear wave velocity (or slowness). The data are graphically presented in what is commonly termed a p-f plot. The interpreter determines a dispersion curve from the p-f plot by selecting the lower bound of the spectral energy shear wave velocity versus frequency trend. The second phase of the analysis consists of fitting the measured dispersion curve with a theoretical dispersion curve that is based upon a model of multiple layers with various shear wave velocities. The model velocities and layer thicknesses are adjusted until a 'best fit' to the measured data is obtained. This type of interpretation does not provide a unique model. Interpreter experience and knowledge of the existing geology is important to provide a realistic solution. The data are presented as one-dimensional velocity profiles that represent the average shear wave velocities of the subsurface layers over the length of the geophone array.

4.0 RESULTS

The approximate location of the ReMi array is shown in Figure 1. The results of ReMi analysis for the ReMi line are summarized in Figure 2. Figure 2 contains the p-f plot, the dispersion curve and the derived velocity versus depth model that best fits the geology of the site and the dispersion curve for the array.

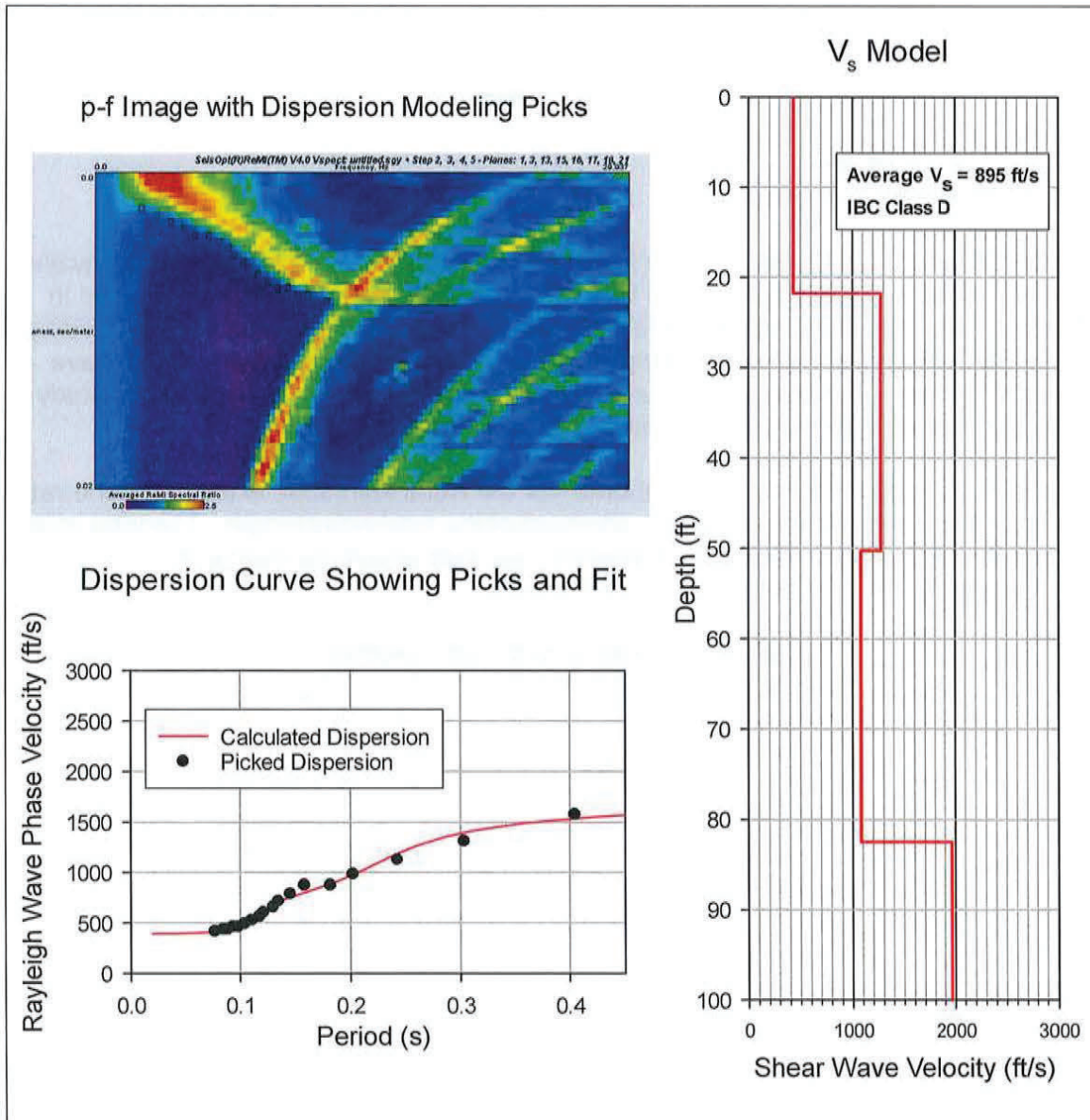


Figure 2. ReMi Data.

5.0 DISCUSSION

Boring data indicate that the site is underlain by silts and sandy silts to a depth of approximately 20 to 30 feet below ground surface (bgs). The silts are underlain by siltstone bedrock. The calculated dispersion fit to the picked dispersion is very good and appears to correlate well with the boring log data. The ReMi model indicates that the site has an average shear wave velocity $V_s(100)$ of 895 ft/s. $V_s(100)$ is calculated using Equation 1.

7.0 REFERENCES

ASCE/SEI 7-10 (2013), Minimum Design Loads for Buildings and other Structures, American Society of Civil Engineers, Structural Engineering Institute, Reston, VA.

Louie, J.N. (2001). "Faster, better: shear-wave velocity to 100 meters depth from refraction microtremor arrays", *Bull. Seism. Soc. Am.*, 91, 347-364.

Nazarian, S., and Stokoe II, K.H., (1984), "In situ shear-wave velocities from spectral analysis of surface waves", *Proceedings for the World Conference on Earthquake Engineering Vol. 8*, San Francisco, Calif., July 21-28, v.3, 31-38.

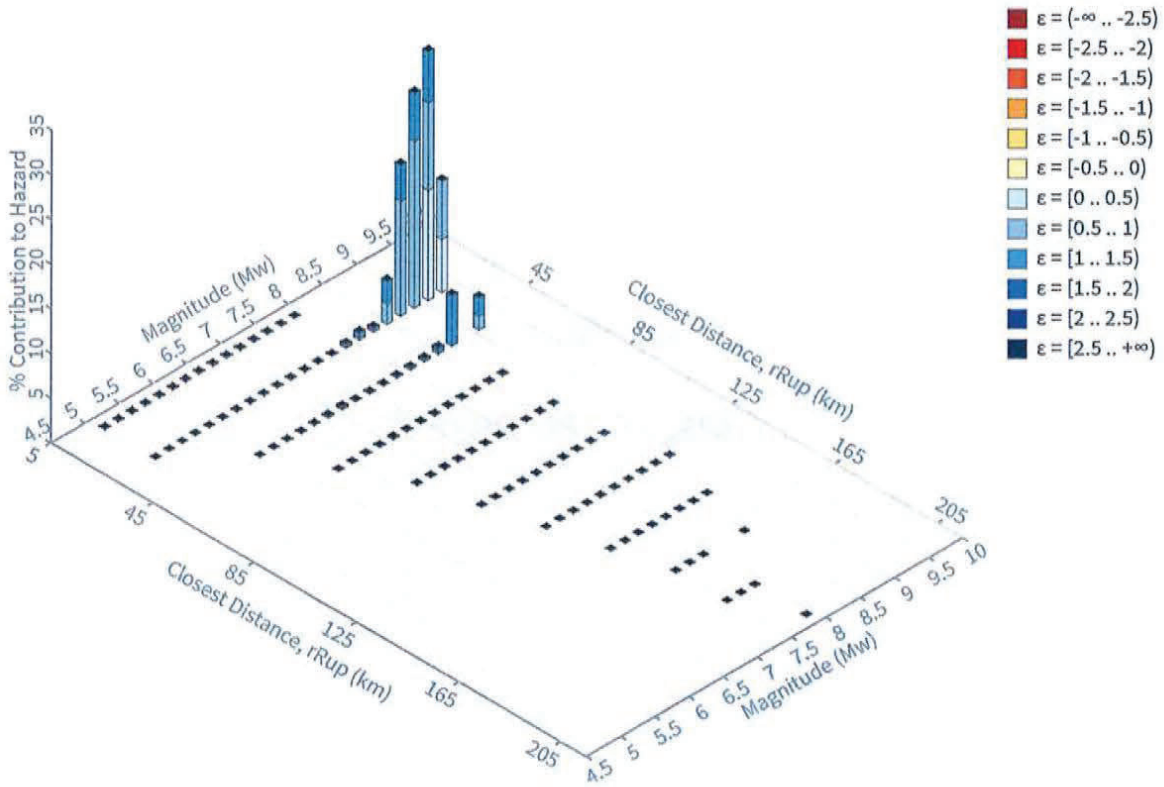
IBC (2012) 2012 International Building Code, International Code Council, Washington D.C.

RESPECTFULLY SUBMITTED
EARTH DYNAMICS LLC



Daniel Lauer
Senior Geophysicist

APPENDIX G: Seismic Hazard Deaggregation



Summary statistics for, Deaggregation: Total

Deaggregation targets

Return period: 2475 yrs
 Exceedance rate: 0.0004040404 yr⁻¹
 PGA ground motion: 0.98115753 g

Recovered targets

Return period: 2471.0209 yrs
 Exceedance rate: 0.00040469103 yr⁻¹

Totals

Binned: 100 %
 Residual: 0 %
 Trace: 0.63 %

Mean (for all sources)

r: 31.56 km
 m: 8.87
 ε: 0.8 σ

Mode (largest r-m bin)

r: 29.25 km
 m: 9.08
 ε: 0.65 σ
 Contribution: 27.85 %

Mode (largest ε bin)

r: 29.32 km
 m: 8.83
 ε: 0.69 σ
 Contribution: 18.67 %

Discretization

r: min = 0.0, max = 1000.0, Δ = 20.0 km
 m: min = 4.4, max = 9.4, Δ = 0.2
 ε: min = -3.0, max = 3.0, Δ = 0.5 σ

Epsilon keys

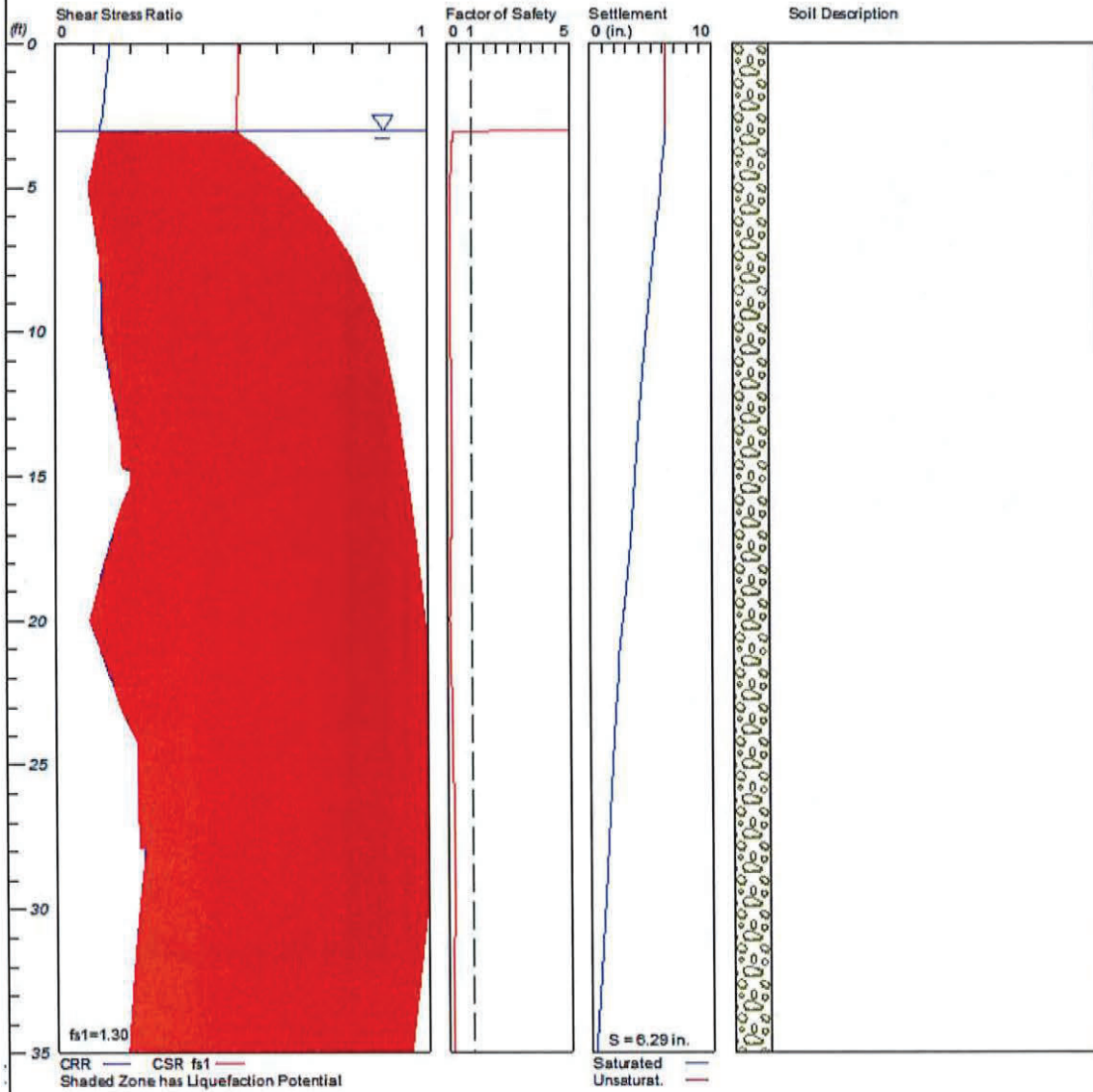
- ε0: [-∞ .. -2.5)
- ε1: [-2.5 .. -2.0)
- ε2: [-2.0 .. -1.5)
- ε3: [-1.5 .. -1.0)
- ε4: [-1.0 .. -0.5)
- ε5: [-0.5 .. 0.0)
- ε6: [0.0 .. 0.5)
- ε7: [0.5 .. 1.0)
- ε8: [1.0 .. 1.5)
- ε9: [1.5 .. 2.0)
- ε10: [2.0 .. 2.5)
- ε11: [2.5 .. +∞)

LIQUEFACTION ANALYSIS

NW Natural Resource Center

Hole No.=B-4 Water Depth=3 ft Surface Elev.=39

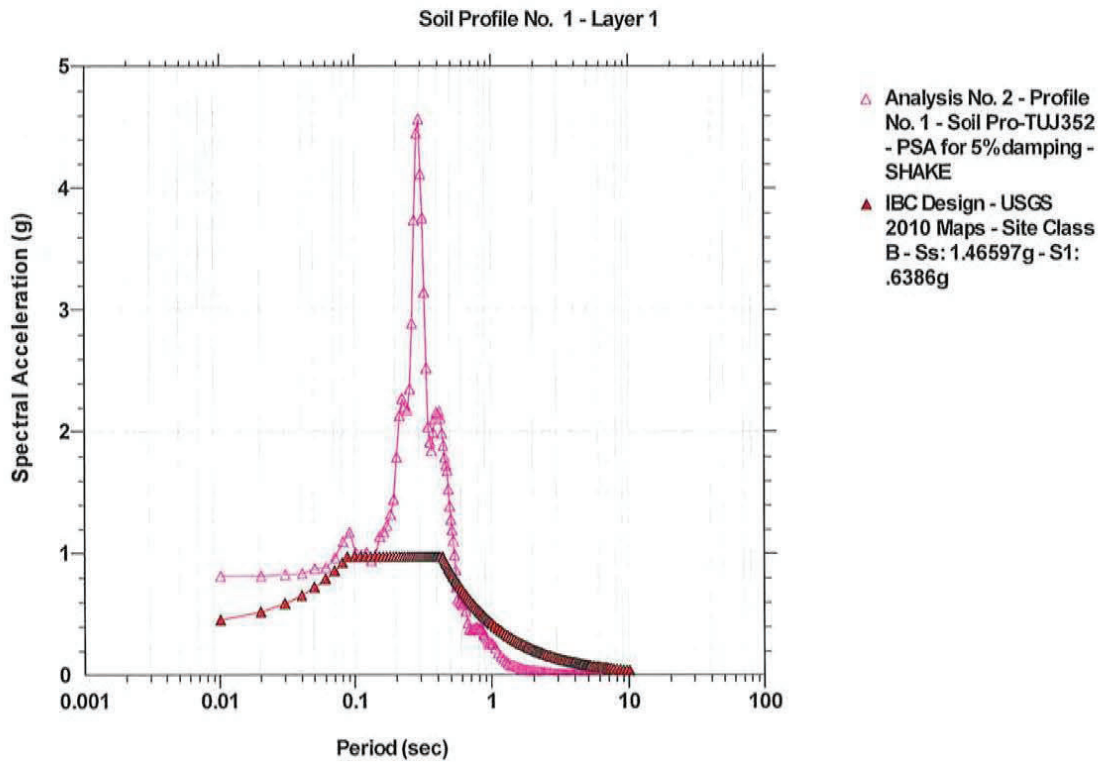
Magnitude=8.5
Acceleration=0.588g



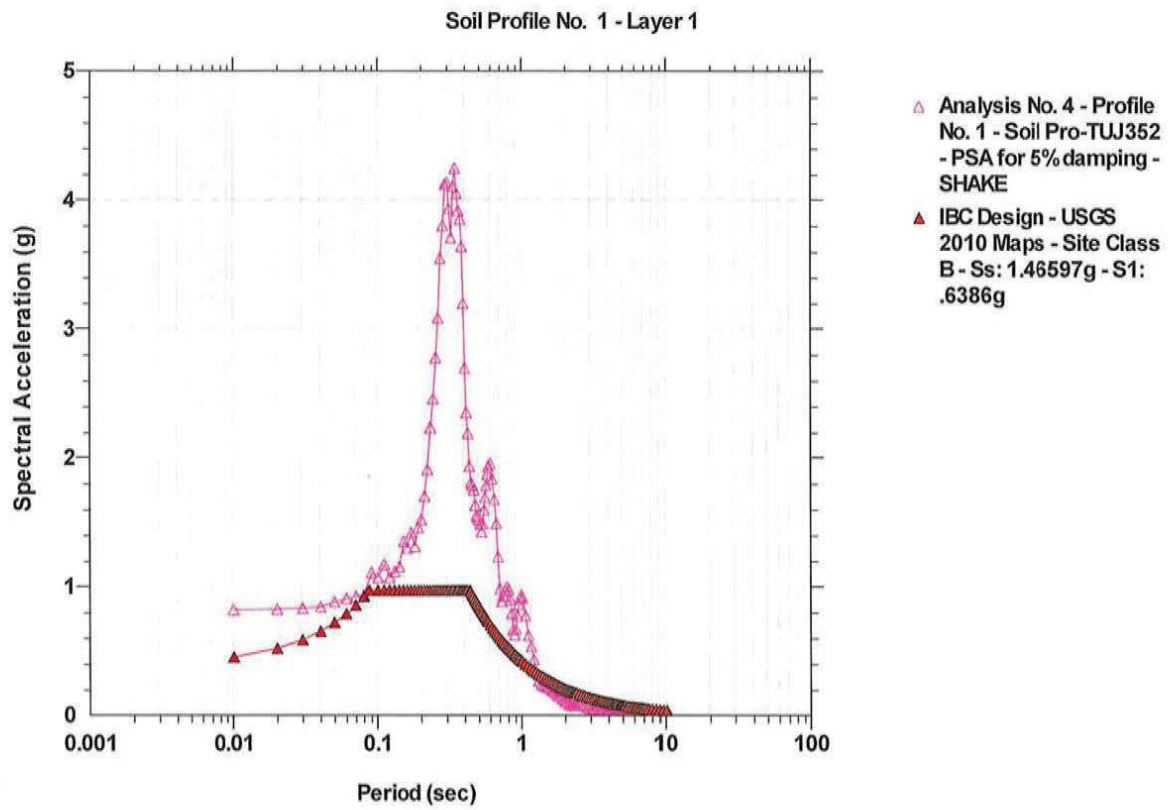
APPENDIX I:

**SCALED 5% DAMPED PSUEDOSPECTRAL ACCELERATION (PSA)
SPECTRA**

2. Northridge (scaling multiplication factor: 1.35)

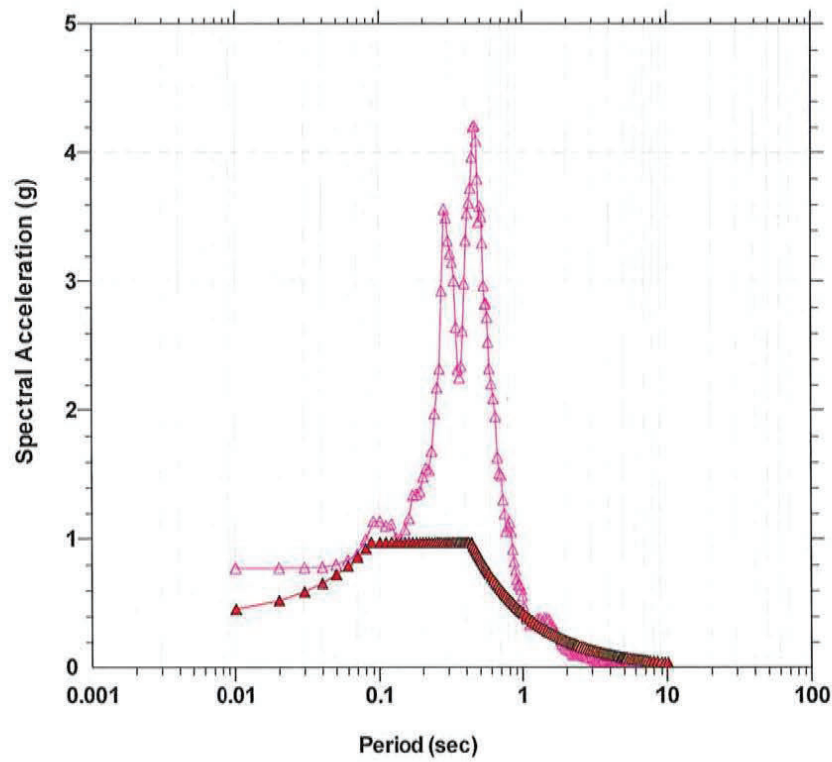


4. El Salvador (scaling multiplication factor: 0.95)



Valparaiso (scaling multiplication factor: 1.55)

Soil Profile No. 1 - Layer 1



- △ Analysis No. 6 - Profile No. 1 - Soil Pro-TUJ352 - PSA for 5% damping - SHAKE
- ▲ IBC Design - USGS 2010 Maps - Site Class B - Ss: 1.46597g - S1: .6386g



City of Warrenton

Planning Department

225 S Main Avenue ■ P.O. Box 250 ■ Warrenton, OR 97146
 Phone: 503.861.0920 Fax: 503.861.2351

STAFF REPORT

TO: The Warrenton Planning Commission
 FROM: Matthew Ellis, AICP, Planning Director
 DATE: May 9, 2024
 SUBJ: Conditional Use Permit CUP-24-3

BACKGROUND

Mary J. Valitski has applied for a conditional use permit to establish a vacation rental use at 976 Fourth Avenue in Hammond which is zoned C-MU Commercial Mixed Use. The subject property is developed as the middle of a group of three townhomes and is identified as Tax Lot 81005CD03506.

PUBLIC PROCESS, PROCEDURES & PUBLIC NOTICE

The application was submitted on February 27 and was deemed complete on February 27, 2024. We sent notice of the public hearing to adjacent property owners on April 19 and published notice in The Astorian on April 30, 2024.

CODE PROVISIONS, APPLICANT RESPONSES, AND FINDINGS

Applicable Warrenton Municipal Code (WMC) chapters for this application include:

- 16.44.030 Commercial Mixed Use District Conditional Uses
- 16.208.050 Type III Procedure (Quasi-Judicial)
- 16.220 Conditional Use Permits

Chapter 16.44 Commercial Mixed Use (C-MU) District **16.44.030 Conditional Uses**

APPLICANT RESPONSE: None provided.

STAFF FINDING: This criterion is met. The proposed use would be allowed if CUP-24-3 is approved.

Chapter 16.208 Administration of Land Use and Development Permits **16.208.050 Type III Procedure (Quasi-Judicial)**

APPLICANT RESPONSE: None provided.

STAFF FINDING: The applicant did not hold a pre-application conference, which is required for all Type III applications, but staff do not feel a pre-application conference would have changed the application substantially. All other criteria of the section have been met.

Chapter 16.220 Conditional Use Permits

16.220.030 Review Criteria

A. Responses below:

1. Yes, the zoning is CMU, which does allow for the use of a short-term rental with conditional use. There are several approved mixed uses near my home i.e.: restaurants/bar, marina, trailer park, short term RV park, multi-family and single family.
2. The home is a large 4-bedroom townhome, and this use will conform with bylaws, no adjustments are needed to the existing building. Being a multi-family home there should be little impact to adjacent units, and surrounding properties. It is mostly surrounded by a marina, greenspace and overflow parking for the marina.
3. Yes, our unit has 4 parking spaces. We will limit the number of vehicles to help reduce excessive traffic flow and parking. Since the rental is mostly summer seasonal it will have more vacant time as compared to regular use by homeowner occupied units and businesses. There is also additional on-street parking on Fourth Avenue for guests.
4. Yes, with 4 bathrooms, 4 bedrooms, and all the amenities of a fully furnished home this short-term rental will be very accommodating. Garbage, recycling and groundskeeping are all provided. Property management will monitor each stay providing a clean and safe environment for our guests. They will also be on call 24-7 to address any issues.
5. Yes, there will be no need to change anything related to the building's characteristics. This site is relatively level, and all sidewalks, patios and decks conform to code. Plenty of seating and tables will be provided on the decks to accommodate our guests. No structures will be built.
6. Yes, the site layout design of building, parking, landscape, access, setbacks and buffers plus utilities are all in accordance with city ordinances. This is newly built property and there will be no need to adjust or change anything to accommodate for proposed use.
7. Yes, a short-term rental would be an appropriate use of this location. We expect more units in the complex to also be short term rental. The plan allowed for ample parking for residents and guests. Frontage road also allows for deliveries and additional parking as needed. The neighborhood has many varied approved uses as expected for CMU properties.

STAFF FINDING: The criteria in this section are met.

CONCLUSIONS AND RECOMMENDATION

The applicant has demonstrated that the proposed vacation rental satisfies the

conditional use permit criteria to be in the C-MU Commercial Mixed Use zoning district. Accordingly, staff recommends approval of the request with the following conditions:

1. Submit a complete Short Term Rental (Homestay Lodging) application within 180 days of the approval of CUP-24-3.
2. The structure shall comply with all applicable provisions of Chapter 8.24 Homestay Lodging Standards while being used as a vacation rental.
3. All tenants shall be advised by the property owner(s) that the Warrenton Police Department will strictly enforce violations of city code, disturbances, or disorderly conduct and owners will be notified of all issues.

RECOMMENDED MOTION

“Based on the findings and conclusions of the May 9, 2024, staff report, I move to approve CUP-24-3 subject to the conditions of approval included in the staff report.”

ATTACHMENTS

1. Application
2. Police Chief's Comments



**City Of Warrenton
Planning Department
Conditional Use Permit
WMC 16.220**

OFFICE USE	FEE \$1,000
	File# CUP - _____ - _____
	Date Received _____
	Receipt# _____

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate throughout a zoning district or without restrictions in that district, but would be beneficial to the City if their number, area, location, design, and relation to the surrounding property are controlled. A property owner or designated representative may initiate a request for a conditional use by filing an application with the Planning Department according to the requirements of Section 16.208.050. In addition, the applicant shall provide any related plans, drawings, and/or information needed to provide background for the request.

Property

Address: 976 Fourth Ave - Hammond, OR 97121 (Jetty View Townhomes)

Tax Lot (s): 80115CD03506

Zone: CMU Flood Zone: N/A Wetlands: N/A

Applicant

Name (s): Mary J. Valitski

Phone: 503-320-0717 E-Mail Address: mary2jayne11@gmail.com

Mailing Address: 15824 s Priscilla In. Oregon City, Or. 97045

Applicant Signature(s): Mary J. Valitski Date: 2-20-24

Property Owner (if different from applicant)

Name (s): Jetty Street, LLC

Phone: 503-871-1319 E-mail Address: Mark.hansen@alumus.com

Mailing Address: 9879 BUENA VISTA RD, Independence, Or 97351

Owner's Signature: C. Mark Hansen, Manager Date: 2/21/2024 | 11:00:26 AM PS

I am a record owner of property (person(s) whose name is on the most recently-recorded deed), or contract purchaser with written permission from the record owner and am providing my signature as written authorization for the applicant to submit this application.

Description of Proposed Land Use

I would like to use my home as a Short Term Rental Property.

Conditional Use Permit Review Criteria

Please provide written responses to each of the criteria below that clearly explain how your proposal meets each item. Attach a separate piece of paper if needed. Be as specific as possible. "Yes" and "No" responses are not sufficient.

WMC 16.220.030

1. The proposed use is in conformance with the Comprehensive Plan.

Yes, the zoning is CMU, which does allow for the use of a short term rental with conditional use.

There are several approved mixed uses in close proximity to my home ie: Restaurants/Bar, Marina, Trailer park, Short Term RV park, multi-family and single family.

2. The location, size and design, and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on surrounding properties.

The home is a large 4 bedroom townhome and this use will conform with bylaws, no adjustments are needed to the existing building. Being a multi-family home there should be little impact to adjacent units, and surrounding properties. It is mostly surrounded by a marina, greenspace and overflow parking for the marina.

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

Yes, our unit has 4 parking spaces, we will limit the number of vehicles to help reduce excessive traffic flow and parking. Since the rental is mostly summer seasonal it will have more vacant time as compared to regular use by home owner occupied units and businesses. There is also additional on-street parking on fourth avenue for guests.

4. Public facilities and services are adequate to accommodate the proposed use.

Yes, with 4 bathrooms, 4 bedrooms, and all the amenities of a fully furnished home this short term rental will be very accommodating. Garbage, recycling and groundskeeping are all provided. Property management will monitor each stay providing a clean and safe environment for our guests. They will also be on call 24-7 to address any issues.

5. The site's physical characteristics, in term of topography, soils and other pertinent considerations are, are appropriate for the use.

Yes, there will be no need to change anything related to the buildings characteristics. This site is relatively level and all sidewalks, patios and decks conform to code. Plenty of seating and tables will be provided on the decks to accomodate our guests. No structures will be built.

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for the building, parking, landscaping, driveway, on-site circulation, public areas, loading areas, storage facilities, setbacks, buffers, and utilities which are required by City ordinances.

Yes, site layout design of building, parking, landscape, access, setbacks and buffers plus utilities are all in accordance with city ordinances. This is a new build property there will be no need to adjust or change anything to accommodate for proposed use.

7. The use is appropriate at the proposed location. Several factors which should be considered in determining whether or not the use is appropriate include: accessibility for users (such as customers and employees); availability of similar existing uses; availability of other appropriately zoned sites; and the desirability of other suitably zoned sites for the intended use.

Yes, a short term rental would be an appropriate use of this location. We expect more units in the complex to also be short term rental. Plan allowed for ample parking for residents and guests. Frontage road also allows for deliveries and additional parking as needed. Neighborhood has many varied approved uses as expected for CMU properties.

Submittal Checklist

Applicants shall submit all of the following items on a site plan along with the application form. The site plan shall contain the following information:

- The proposed development site, including boundaries, dimensions, and gross area drawn to scale.
- Natural land features identified which are proposed to be removed or modified by the development, including modifications to existing drainage patterns, if any.
- The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements, if any
- The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan.
- The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access, if being modified by the application.
- The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable), and proposed paving materials.
- Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails.
- Loading and service areas for waste disposal, loading and delivery, if any
- Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements.

- Location, type, and height of outdoor lighting.
- Locations, sizes, and types of signs (shall comply with Chapter 16.144).
- The Planning Department may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, site drainage, natural hazards, etc.).
- The applicant's entire tax lot and the surrounding property to a distance sufficient to determine the location of the development in the City, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions and gross area shall be identified.
- Identification of slopes greater than 10%.
- Any areas identified as located in a designated floodplain and/or floodway, if any
- Depict any wetland and riparian areas, streams and/or wildlife habitat areas, if any.
- Site features such as pavement, areas having unique views, and drainage ways, canals and ditches, if any.
- Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.
- North arrow, scale, names and addresses of all property owners.
- Name and address of applicant, project designer, engineer, architect, surveyor, and/or planner, if applicable.
- Letter or narrative report documenting compliance with the applicable approval criteria including the conditional use criteria, zoning development standards, and applicable design standards. Please see the Planning Staff for applicable design standards.

This application will not be officially accepted until department staff have determined that the application is completely filled out, signed, the application fee has been paid, and the submittal requirements have been met.

Re: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Mathew Workman <mworkman@warrentonoregon.us>

Wed 4/24/2024 2:34 PM

To:Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Cc:Matthew Ellis <mellis@warrentonoregon.us>;Esther Moberg <emoberg@warrentonoregon.us>;Public Works <publicworks@warrentonoregon.us>;Fire Chief <firechief@warrentonoregon.us>;Brett Estes <Brett.ESTES@dlcd.oregon.gov>;Building Clerk <building@warrentonoregon.us>

Rebecca,

I have reviewed the four Conditional Use Permit applications for Vacation Rentals on Fourth Avenue in Hammond. Here are my comments:

My first and predominant concern is parking and traffic flow issues. The application for 976 Fourth Ave. states, "*our unit has 4 parking spaces, we will limit the number of vehicles to help reduce excessive traffic flow and parking.*" The applications for 960, 964, & 968 do not mention the number of spaces for each but states, "*The site provides adequate space for buildings, parking,...*"

In visiting the site, I am not sure where the "four spaces" comes from but assume the applicant means the two spaces in the garage and the two spaces in the driveway outside of the garage. The application for 976 also states, "*There is also additional on-street parking on fourth avenue for guests.*" **This is true, but keep in mind that Fourth Ave. is one-side parking only with room for one vehicle comfortably in front of each address and two vehicles bumper to bumper, depending on the type of vehicle.**

I appreciate the statement by the applicant for 976 that they "will limit the number of vehicles" but this statement is not made by the applicant for 960, 964, & 968. The sheer size of these units, 4-bedroom townhomes, could and will attract large groups that have the potential to have more than four vehicles and with guests, the potential for many more vehicles.

I would like to see conditions or requests made for both applicants to have plans or rules in place to limit the number of vehicles and restricting the parking of any vehicles in any areas not designated for vehicles (yards, alley, gravel on the north side of the street, Hammond Marina property unless they pay for daily parking, other people's property, etc.), and letting renters know that parking codes will be enforced on the public street, including the possibility of having a vehicle towed.



Renter Conduct: though the applicants do not fully control the behavior of renters, they should have rules or let their renters know that violations of city code, disturbances, or disorderly conduct will be strictly enforced by the WPD, and owners will be notified of all issues. Hopefully, the owner will reserve the right to terminate a rental for serious problems or issues, just like our hotels and motels will do.

If you have any questions please let me know.

Chief Workman

Mathew J. Workman, Chief of Police
Warrenton Police Department
225 S. Main Ave. / P.O. Box 250
Warrenton, OR 97146

503-861-2235 (Office)
503-861-2863 (Fax)
503-791-9995 (Work Cell)
Facebook: "Warrenton Police Department"
X / Twitter: "WarrentonPD"
<http://www.warrentonoregon.us/police>

This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.

From: Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Sent: Tuesday, April 23, 2024 9:30 AM

To: Esther Moberg <emoberg@warrentonoregon.us>; Mathew Workman <mworkman@warrentonoregon.us>; Fire Chief <firechief@warrentonoregon.us>; Public Works <publicworks@warrentonoregon.us>; Building Clerk <building@warrentonoregon.us>; Brett Estes <Brett.ESTES@dlcd.oregon.gov>

Cc: Matthew Ellis <mellis@warrentonoregon.us>

Subject: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Good morning,

We have received four Conditional Use Permit applications for Vacation Rentals in the CMU zone at 960 Fourth Avenue, 964 Fourth Avenue, 968 Fourth Avenue, and 976 Fourth Avenue in Hammond. Public notices have been mailed and the hearings are scheduled before the Planning Commission on Thursday, May 9, 2024, at 6:00 pm. The Planning Department is requesting that if you have any comments on this application, they be provided to us no later than noon on Thursday, May 2, 2024.

The application files can be viewed online here: <https://www.warrentonoregon.us/ced/page/applications-pending-approval>

If your department uses Accela, a review task has been assigned to you for comments or to be marked "no comments."

These applications include record numbers: 917-24-000017-PLNG, 917-24-000019-PLNG, 917-24-000020-PLNG, and 917-24-000021-PLNG.



Thank you,

Rebecca Sprengeler

Planning Technician

Office: 971-286-2025
P.O. Box 250 | 225 S Main Ave
Warrenton OR, 97146
warrentonoregon.us | [facebook.com](https://www.facebook.com)



“Making a difference through excellence of service”

This message may contain confidential and/or proprietary information, and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.



City of Warrenton

Planning Department

225 S Main Avenue ■ P.O. Box 250 ■ Warrenton, OR 97146

Phone: 503.861.0920 Fax: 503.861.2351

STAFF REPORT

TO: The Warrenton Planning Commission
 FROM: Matthew Ellis, AICP, Planning Director
 DATE: May 9, 2024
 SUBJ: Conditional Use Permit CUP-24-4

BACKGROUND

C. Mark Hansen has applied for a conditional use permit to establish a vacation rental use at 960 Fourth Avenue in Hammond which is zoned C-MU Commercial Mixed Use. The subject property is developed as one of the end units of a group of three townhomes and is identified as Tax Lot 81005CD03510.

PUBLIC PROCESS, PROCEDURES & PUBLIC NOTICE

The application was submitted on April 9 and was deemed complete on April 9, 2024. We sent notice of the public hearing to adjacent property owners on April 19 and published notice in The Astorian on April 30, 2024.

CODE PROVISIONS, APPLICANT RESPONSES, AND FINDINGS

Applicable Warrenton Municipal Code (WMC) chapters for this application include:

16.44.030 Commercial Mixed Use District Conditional Uses
 16.208.050 Type III Procedure (Quasi-Judicial)
 16.220 Conditional Use Permits

Chapter 16.44 Commercial Mixed Use (C-MU) District
16.44.030 Conditional Uses

APPLICANT RESPONSE: None provided.

STAFF FINDING: This criterion is met. The proposed use would be allowed if CUP-24-4 is approved.

Chapter 16.208 Administration of Land Use and Development Permits
16.208.050 Type III Procedure (Quasi-Judicial)

APPLICANT RESPONSE: None provided.

STAFF FINDING: The applicant did not hold a pre-application conference, which is required for all Type III applications, but staff do not feel a pre-application conference would have changed the application substantially. All other criteria of the section have been met.

Chapter 16.220 Conditional Use Permits

16.220.030 Review Criteria

A. Responses below:

1. This unit is part of the nine-lot townhome Jetty View subdivision. The new construction development was carefully planned to align with the City's Comprehensive Plan and adheres to land use designation and zoning regulation specified in the plan.
2. The townhomes have been designed to blend with the existing neighborhood with consideration given to noise, traffic, and visual aspects.
3. The development project included half street improvements along 4th and Jetty to accommodate traffic.
4. The development project also included utility improvements and extensions
5. Prior to construction, the Site Design Review and Preliminary Plan were approved to build the Jetty View subdivision.
6. The site provides adequate space for buildings, parking, landscaping, and utilities with setbacks and buffers in compliance with City ordinances.
7. The site's location is suitable for residential townhomes, beautifies the Hammond Marina area, and provides need short- and long-term housing.

STAFF FINDING: The criteria in this section are met.

CONCLUSIONS AND RECOMMENDATION

The applicant has demonstrated that the proposed vacation rental satisfies the conditional use permit criteria to be in the C-MU Commercial Mixed Use zoning district. Accordingly, staff recommends approval of the request with the following conditions:

1. Submit a complete Homestay Lodging application within 180 days of the approval of CUP-24-4.
2. The structure shall comply with all applicable provisions of Chapter 8.24 Homestay Lodging Standards while being used as a vacation rental.
3. All tenants shall be advised by the property owner(s) that the Warrenton Police Department will strictly enforce violations of city code, disturbances, or disorderly conduct, and owners will be notified of all issues.

RECOMMENDED MOTION

“Based on the findings and conclusions of the May 9, 2024, staff report, I move to approve CUP-24-4 subject to the conditions of approval included in the staff report.”

ATTACHMENTS

1. Application
2. Police Chief's Comments



City Of Warrenton
Planning Department
Conditional Use Permit
WMC 16.220

OFFICE USE	FEE \$1,000
	File# CUP - _____ - _____
	Date Received _____
	Receipt# _____

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate throughout a zoning district or without restrictions in that district, but would be beneficial to the City if their number, area, location, design, and relation to the surrounding property are controlled. A property owner or designated representative may initiate a request for a conditional use by filing an application with the Planning Department according to the requirements of Section 16.208.050. In addition, the applicant shall provide any related plans, drawings, and/or information needed to provide background for the request.

Property

Address: 960 4th Avenue, Hammond, OR 97121

Tax Lot (s): Jetty View 9, Map: 81005CD03510

Zone: CMU Flood Zone: _____ Wetlands: _____

Applicant

Name (s): C. Mark Hansen

Phone: 503-871-1319 E-Mail Address: hansen@alumus.com

Mailing Address: 9879 Buena Vista Rd, Independence, OR 97351

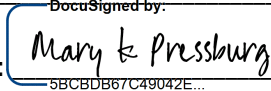
Applicant Signature(s):  Date: 04/09/2024

Property Owner (if different from applicant)

Name (s): Mary K. Pressburg

Phone: 206-607-7487 E-mail Address: mary.pressburg@gmail.com

Mailing Address: 960 4th Avenue, Hammond, OR 97121

Owner's Signature:  Date: 04/09/2024

I am a record owner of property (person(s) whose name is on the most recently-recorded deed), or contract purchaser with written permission from the record owner and am providing my signature as written authorization for the applicant to submit this application.

Description of Proposed Land Use

Short term vacation rental for townhome Unit 9 in Jetty View subdivision constructed in 2023.

Conditional Use Permit Review Criteria

Please provide written responses to each of the criteria below that clearly explain how your proposal meets each item. Attach a separate piece of paper if needed. Be as specific as possible. "Yes" and "No" responses are not sufficient.

WMC 16.220.030

1. The proposed use is in conformance with the Comprehensive Plan.

This unit is part of the nine-lot townhome Jetty View subdivision. The new construction development was carefully planned to align with the City's Comprehensive Plan and adheres to land use designations and zoning regulations specified in the plan.

2. The location, size and design, and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on surrounding properties.

The townhomes have been designed to blend with the existing neighborhood with consideration given to noise, traffic, and visual aspects.

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

The development project included half street improvements along 4th and Jetty to accommodate traffic.

4. Public facilities and services are adequate to accommodate the proposed use.

The development project also included utility improvements and extensions.

5. The site's physical characteristics, in term of topography, soils and other pertinent considerations are, are appropriate for the use.

Prior to construction, the Site Design Review and Preliminary Plan were approved to build the Jetty View subdivision.

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for the building, parking, landscaping, driveway, on-site circulation, public areas, loading areas, storage facilities, setbacks, buffers, and utilities which are required by City ordinances.

The site provides adequate space for buildings, parking, landscaping, and utilities; with setbacks and buffers in compliance with City ordinances.

7. The use is appropriate at the proposed location. Several factors which should be considered in determining whether or not the use is appropriate include: accessibility for users (such as customers and employees); availability of similar existing uses; availability of other appropriately zoned sites; and the desirability of other suitably zoned sites for the intended use.

The site's location is suitable for residential townhomes, beautifies the Hammond Marina area, and provides needed short and long term housing.

Submittal Checklist

Applicants shall submit all of the following items on a site plan along with the application form. The site plan shall contain the following information:

- The proposed development site, including boundaries, dimensions, and gross area drawn to scale.
- Natural land features identified which are proposed to be removed or modified by the development, including modifications to existing drainage patterns, if any.
- The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements, if any
- The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan.
- The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access, if being modified by the application.
- The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable), and proposed paving materials.
- Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails.
- Loading and service areas for waste disposal, loading and delivery, if any
- Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements.

- Location, type, and height of outdoor lighting.
- Locations, sizes, and types of signs (shall comply with Chapter 16.144).
- The Planning Department may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, site drainage, natural hazards, etc.).
- The applicant's entire tax lot and the surrounding property to a distance sufficient to determine the location of the development in the City, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions and gross area shall be identified.
- Identification of slopes greater than 10%.
- Any areas identified as located in a designated floodplain and/or floodway, if any
- Depict any wetland and riparian areas, streams and/or wildlife habitat areas, if any.
- Site features such as pavement, areas having unique views, and drainage ways, canals and ditches, if any.
- Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.
- North arrow, scale, names and addresses of all property owners.
- Name and address of applicant, project designer, engineer, architect, surveyor, and/or planner, if applicable.
- Letter or narrative report documenting compliance with the applicable approval criteria including the conditional use criteria, zoning development standards, and applicable design standards. Please see the Planning Staff for applicable design standards.

This application will not be officially accepted until department staff have determined that the application is completely filled out, signed, the application fee has been paid, and the submittal requirements have been met.

Re: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Mathew Workman <mworkman@warrentonoregon.us>

Wed 4/24/2024 2:34 PM

To:Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Cc:Matthew Ellis <mellis@warrentonoregon.us>;Esther Moberg <emoberg@warrentonoregon.us>;Public Works <publicworks@warrentonoregon.us>;Fire Chief <firechief@warrentonoregon.us>;Brett Estes <Brett.ESTES@dlcd.oregon.gov>;Building Clerk <building@warrentonoregon.us>

Rebecca,

I have reviewed the four Conditional Use Permit applications for Vacation Rentals on Fourth Avenue in Hammond. Here are my comments:

My first and predominant concern is parking and traffic flow issues. The application for 976 Fourth Ave. states, "*our unit has 4 parking spaces, we will limit the number of vehicles to help reduce excessive traffic flow and parking.*" The applications for 960, 964, & 968 do not mention the number of spaces for each but states, "*The site provides adequate space for buildings, parking,...*"

In visiting the site, I am not sure where the "four spaces" comes from but assume the applicant means the two spaces in the garage and the two spaces in the driveway outside of the garage. The application for 976 also states, "*There is also additional on-street parking on fourth avenue for guests.*" **This is true, but keep in mind that Fourth Ave. is one-side parking only with room for one vehicle comfortably in front of each address and two vehicles bumper to bumper, depending on the type of vehicle.**

I appreciate the statement by the applicant for 976 that they "will limit the number of vehicles" but this statement is not made by the applicant for 960, 964, & 968. The sheer size of these units, 4-bedroom townhomes, could and will attract large groups that have the potential to have more than four vehicles and with guests, the potential for many more vehicles.

I would like to see conditions or requests made for both applicants to have plans or rules in place to limit the number of vehicles and restricting the parking of any vehicles in any areas not designated for vehicles (yards, alley, gravel on the north side of the street, Hammond Marina property unless they pay for daily parking, other people's property, etc.), and letting renters know that parking codes will be enforced on the public street, including the possibility of having a vehicle towed.



Renter Conduct: though the applicants do not fully control the behavior of renters, they should have rules or let their renters know that violations of city code, disturbances, or disorderly conduct will be strictly enforced by the WPD, and owners will be notified of all issues. Hopefully, the owner will reserve the right to terminate a rental for serious problems or issues, just like our hotels and motels will do.

If you have any questions please let me know.

Chief Workman

Mathew J. Workman, Chief of Police
Warrenton Police Department
225 S. Main Ave. / P.O. Box 250
Warrenton, OR 97146

503-861-2235 (Office)
503-861-2863 (Fax)
503-791-9995 (Work Cell)
Facebook: "Warrenton Police Department"
X / Twitter: "WarrentonPD"
<http://www.warrentonoregon.us/police>

This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.

From: Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Sent: Tuesday, April 23, 2024 9:30 AM

To: Esther Moberg <emoberg@warrentonoregon.us>; Mathew Workman <mworkman@warrentonoregon.us>; Fire Chief <firechief@warrentonoregon.us>; Public Works <publicworks@warrentonoregon.us>; Building Clerk <building@warrentonoregon.us>; Brett Estes <Brett.ESTES@dlcd.oregon.gov>

Cc: Matthew Ellis <mellis@warrentonoregon.us>

Subject: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Good morning,

We have received four Conditional Use Permit applications for Vacation Rentals in the CMU zone at 960 Fourth Avenue, 964 Fourth Avenue, 968 Fourth Avenue, and 976 Fourth Avenue in Hammond. Public notices have been mailed and the hearings are scheduled before the Planning Commission on Thursday, May 9, 2024, at 6:00 pm. The Planning Department is requesting that if you have any comments on this application, they be provided to us no later than noon on Thursday, May 2, 2024.

The application files can be viewed online here: <https://www.warrentonoregon.us/ced/page/applications-pending-approval>

If your department uses Accela, a review task has been assigned to you for comments or to be marked "no comments."

These applications include record numbers: 917-24-000017-PLNG, 917-24-000019-PLNG, 917-24-000020-PLNG, and 917-24-000021-PLNG.



Thank you,

Rebecca Sprengeler

Planning Technician

Office: 971-286-2025
P.O. Box 250 | 225 S Main Ave
Warrenton OR, 97146
warrentonoregon.us | [facebook.com](https://www.facebook.com)



“Making a difference through excellence of service”

This message may contain confidential and/or proprietary information, and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.



City of Warrenton

Planning Department

225 S Main Avenue ■ P.O. Box 250 ■ Warrenton, OR 97146

Phone: 503.861.0920 Fax: 503.861.2351

STAFF REPORT

TO: The Warrenton Planning Commission
 FROM: Matthew Ellis, AICP, Planning Director
 DATE: May 9, 2024
 SUBJ: Conditional Use Permit CUP-24-5

BACKGROUND

C. Mark Hansen of Jetty Street LLC has applied for a conditional use permit to establish a vacation rental use at 964 Fourth Avenue in Hammond which is zoned C-MU Commercial Mixed Use. The subject property is developed as the middle of a group of three townhomes and is identified as Tax Lot 81005CD03509.

PUBLIC PROCESS, PROCEDURES & PUBLIC NOTICE

The application was submitted February 27 and was deemed complete February 27, 2024. We sent notice of the public hearing to adjacent property owners April 19 and published notice in The Astorian on April 30, 2024.

CODE PROVISIONS, APPLICANT RESPONSES, AND FINDINGS

Applicable Warrenton Municipal Code (WMC) chapters for this application include:

16.44.030 Commercial Mixed Use District Conditional Uses
 16.208.050 Type III Procedure (Quasi-Judicial)
 16.220 Conditional Use Permits

Chapter 16.44 Commercial Mixed Use (C-MU) District
16.44.030 Conditional Uses

APPLICANT RESPONSE: None provided.

STAFF FINDING: This criterion is met. The proposed use would be allowed if CUP-24-5 is approved.

Chapter 16.208 Administration of Land Use and Development Permits
16.208.050 Type III Procedure (Quasi-Judicial)

APPLICANT RESPONSE: None provided.

STAFF FINDING: The applicant did not hold a pre-application conference, which is required for all Type III applications, but staff do not feel a pre-application conference would have changed the application substantially. All other criteria of the section have been met.

Chapter 16.220 Conditional Use Permits

16.220.030 Review Criteria

A. Responses below:

1. This unit is part of the nine-lot townhome Jetty View subdivision. The new construction development was carefully planned to align with the City's Comprehensive Plan and adheres to land use designations and zoning regulations specified in the plan.
2. The townhomes have been designed to blend with the existing neighborhood with consideration given to noise, traffic, and visual aspects.
3. The development project included half street improvements along 4th and Jetty to accommodate traffic.
4. The development project also included utility improvements and extensions.
5. Prior to construction, the Site Design Review and Preliminary Plan were approved to build the Jetty View subdivision.
6. The site provides adequate space for buildings, parking, landscaping, and utilities, with setbacks and buffers in compliance with City ordinances.
7. The site's location is suitable for residential townhomes, beautifies the Hammond Marina area, and provides need short- and long-term housing.

STAFF FINDING: The criteria in this section are met.

CONCLUSIONS AND RECOMMENDATION

The applicant has demonstrated that the proposed vacation rental satisfies the conditional use permit criteria to be in the C-MU Commercial Mixed Use zoning district. Accordingly, staff recommends approval of the request with the following conditions:

1. Submit a complete Short Term Rental (Homestay Lodging) application within 180 days of the approval of CUP-24-5.
2. The structure shall comply with all applicable provisions of Chapter 8.24 Homestay Lodging Standards while being used as a vacation rental.
3. All tenants shall be advised by the property owner(s) that the Warrenton Police Department will strictly enforce violations of city code, disturbances, or disorderly conduct, and owners will be notified of all issues.

RECOMMENDED MOTION

“Based on the findings and conclusions of the May 9, 2024, staff report, I move to approve CUP-24-5 subject to the conditions of approval included in the staff report.”

ATTACHMENTS

Conditional Use Permit CUP-24-5
Staff Report Page: 3

1. Application
2. Police Chief's Comments



City Of Warrenton
Planning Department
Conditional Use Permit
WMC 16.220

OFFICE USE	FEE \$1,000
	File# CUP - _____ - _____
	Date Received _____
	Receipt# _____

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate throughout a zoning district or without restrictions in that district, but would be beneficial to the City if their number, area, location, design, and relation to the surrounding property are controlled. A property owner or designated representative may initiate a request for a conditional use by filing an application with the Planning Department according to the requirements of Section 16.208.050. In addition, the applicant shall provide any related plans, drawings, and/or information needed to provide background for the request.

Property

Address: _____

Tax Lot (s): _____


Zone: _____ Flood Zone: _____ Wetlands: _____

Applicant

Name (s): _____

Phone: _____ E-Mail Address: _____

Mailing Address: _____


Applicant Signature(s):  _____ Date: _____

Property Owner (if different from applicant)

Name (s): _____

Phone: _____ E-mail Address: _____

Mailing Address: _____

Owner's Signature:  _____ Date: _____

I am a record owner of property (person(s) whose name is on the most recently-recorded deed), or contract purchaser with written permission from the record owner and am providing my signature as written authorization for the applicant to submit this application.

Description of Proposed Land Use

Conditional Use Permit Review Criteria

Please provide written responses to each of the criteria below that clearly explain how your proposal meets each item. Attach a separate piece of paper if needed. Be as specific as possible. "Yes" and "No" responses are not sufficient.

WMC 16.220.030

1. The proposed use is in conformance with the Comprehensive Plan.

2. The location, size and design, and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on surrounding properties.

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

4. Public facilities and services are adequate to accommodate the proposed use.

5. The site's physical characteristics, in term of topography, soils and other pertinent considerations are, are appropriate for the use.

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for the building, parking, landscaping, driveway, on-site circulation, public areas, loading areas, storage facilities, setbacks, buffers, and utilities which are required by City ordinances.

7. The use is appropriate at the proposed location. Several factors which should be considered in determining whether or not the use is appropriate include: accessibility for users (such as customers and employees); availability of similar existing uses; availability of other appropriately zoned sites; and the desirability of other suitably zoned sites for the intended use.

Submittal Checklist

Applicants shall submit all of the following items on a site plan along with the application form. The site plan shall contain the following information:

- The proposed development site, including boundaries, dimensions, and gross area drawn to scale.
- Natural land features identified which are proposed to be removed or modified by the development, including modifications to existing drainage patterns, if any.
- The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements, if any
- The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan.
- The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access, if being modified by the application.
- The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable), and proposed paving materials.
- Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails.
- Loading and service areas for waste disposal, loading and delivery, if any
- Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements.

- Location, type, and height of outdoor lighting.
- Locations, sizes, and types of signs (shall comply with Chapter 16.144).
- The Planning Department may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, site drainage, natural hazards, etc.).
- The applicant's entire tax lot and the surrounding property to a distance sufficient to determine the location of the development in the City, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions and gross area shall be identified.
- Identification of slopes greater than 10%.
- Any areas identified as located in a designated floodplain and/or floodway, if any
- Depict any wetland and riparian areas, streams and/or wildlife habitat areas, if any.
- Site features such as pavement, areas having unique views, and drainage ways, canals and ditches, if any.
- Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.
- North arrow, scale, names and addresses of all property owners.
- Name and address of applicant, project designer, engineer, architect, surveyor, and/or planner, if applicable.
- Letter or narrative report documenting compliance with the applicable approval criteria including the conditional use criteria, zoning development standards, and applicable design standards. Please see the Planning Staff for applicable design standards.

This application will not be officially accepted until department staff have determined that the application is completely filled out, signed, the application fee has been paid, and the submittal requirements have been met.

Re: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Mathew Workman <mworkman@warrentonoregon.us>

Wed 4/24/2024 2:34 PM

To:Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Cc:Matthew Ellis <mellis@warrentonoregon.us>;Esther Moberg <emoberg@warrentonoregon.us>;Public Works <publicworks@warrentonoregon.us>;Fire Chief <firechief@warrentonoregon.us>;Brett Estes <Brett.ESTES@dlcd.oregon.gov>;Building Clerk <building@warrentonoregon.us>

Rebecca,

I have reviewed the four Conditional Use Permit applications for Vacation Rentals on Fourth Avenue in Hammond. Here are my comments:

My first and predominant concern is parking and traffic flow issues. The application for 976 Fourth Ave. states, "*our unit has 4 parking spaces, we will limit the number of vehicles to help reduce excessive traffic flow and parking.*" The applications for 960, 964, & 968 do not mention the number of spaces for each but states, "*The site provides adequate space for buildings, parking,...*"

In visiting the site, I am not sure where the "four spaces" comes from but assume the applicant means the two spaces in the garage and the two spaces in the driveway outside of the garage. The application for 976 also states, "*There is also additional on-street parking on fourth avenue for guests.*" **This is true, but keep in mind that Fourth Ave. is one-side parking only with room for one vehicle comfortably in front of each address and two vehicles bumper to bumper, depending on the type of vehicle.**

I appreciate the statement by the applicant for 976 that they "will limit the number of vehicles" but this statement is not made by the applicant for 960, 964, & 968. The sheer size of these units, 4-bedroom townhomes, could and will attract large groups that have the potential to have more than four vehicles and with guests, the potential for many more vehicles.

I would like to see conditions or requests made for both applicants to have plans or rules in place to limit the number of vehicles and restricting the parking of any vehicles in any areas not designated for vehicles (yards, alley, gravel on the north side of the street, Hammond Marina property unless they pay for daily parking, other people's property, etc.), and letting renters know that parking codes will be enforced on the public street, including the possibility of having a vehicle towed.



Renter Conduct: though the applicants do not fully control the behavior of renters, they should have rules or let their renters know that violations of city code, disturbances, or disorderly conduct will be strictly enforced by the WPD, and owners will be notified of all issues. Hopefully, the owner will reserve the right to terminate a rental for serious problems or issues, just like our hotels and motels will do.

If you have any questions please let me know.

Chief Workman

Mathew J. Workman, Chief of Police
Warrenton Police Department
225 S. Main Ave. / P.O. Box 250
Warrenton, OR 97146

503-861-2235 (Office)
503-861-2863 (Fax)
503-791-9995 (Work Cell)
Facebook: "Warrenton Police Department"
X / Twitter: "WarrentonPD"
<http://www.warrentonoregon.us/police>

This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.

From: Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Sent: Tuesday, April 23, 2024 9:30 AM

To: Esther Moberg <emoberg@warrentonoregon.us>; Mathew Workman <mworkman@warrentonoregon.us>; Fire Chief <firechief@warrentonoregon.us>; Public Works <publicworks@warrentonoregon.us>; Building Clerk <building@warrentonoregon.us>; Brett Estes <Brett.ESTES@dlcd.oregon.gov>

Cc: Matthew Ellis <mellis@warrentonoregon.us>

Subject: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Good morning,

We have received four Conditional Use Permit applications for Vacation Rentals in the CMU zone at 960 Fourth Avenue, 964 Fourth Avenue, 968 Fourth Avenue, and 976 Fourth Avenue in Hammond. Public notices have been mailed and the hearings are scheduled before the Planning Commission on Thursday, May 9, 2024, at 6:00 pm. The Planning Department is requesting that if you have any comments on this application, they be provided to us no later than noon on Thursday, May 2, 2024.

The application files can be viewed online here: <https://www.warrentonoregon.us/ced/page/applications-pending-approval>

If your department uses Accela, a review task has been assigned to you for comments or to be marked "no comments."

These applications include record numbers: 917-24-000017-PLNG, 917-24-000019-PLNG, 917-24-000020-PLNG, and 917-24-000021-PLNG.



Thank you,

Rebecca Sprengeler

Planning Technician

Office: 971-286-2025
P.O. Box 250 | 225 S Main Ave
Warrenton OR, 97146
warrentonoregon.us | [facebook.com](https://www.facebook.com)



“Making a difference through excellence of service”

This message may contain confidential and/or proprietary information, and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.



City of Warrenton

Planning Department

225 S Main Avenue ■ P.O. Box 250 ■ Warrenton, OR 97146

Phone: 503.861.0920 Fax: 503.861.2351

STAFF REPORT

TO: The Warrenton Planning Commission
 FROM: Matthew Ellis, AICP, Planning Director
 DATE: May 9, 2024
 SUBJ: Conditional Use Permit CUP-24-6

BACKGROUND

C. Mark Hansen of Jetty Street LLC has applied for a conditional use permit to establish a vacation rental use at 968 Fourth Avenue in Hammond which is zoned C-MU Commercial Mixed Use. The subject property is developed as one of the end units of a group of three townhomes and is identified as Tax Lot 81005CD03508.

PUBLIC PROCESS, PROCEDURES & PUBLIC NOTICE

The application was submitted February 27 and was deemed complete February 27, 2024. We sent notice of the public hearing to adjacent property owners April 19 and published notice in The Astorian on April 30, 2024.

CODE PROVISIONS, APPLICANT RESPONSES, AND FINDINGS

Applicable Warrenton Municipal Code (WMC) chapters for this application include:

16.44.030 Commercial Mixed Use District Conditional Uses
 16.208.050 Type III Procedure (Quasi-Judicial)
 16.220 Conditional Use Permits

Chapter 16.44 Commercial Mixed Use (C-MU) District
16.44.030 Conditional Uses

APPLICANT RESPONSE: None provided.

STAFF FINDING: This criterion is met. The proposed use would be allowed if CUP-24-6 is approved.

Chapter 16.208 Administration of Land Use and Development Permits
16.208.050 Type III Procedure (Quasi-Judicial)

APPLICANT RESPONSE: None provided.

STAFF FINDING: The applicant did not hold a pre-application conference, which is required for all Type III applications, but staff do not feel a pre-application conference would have changed the application substantially. All other criteria of the section have been met.

Chapter 16.220 Conditional Use Permits

16.220.030 Review Criteria

A. Responses below:

1. This unit is part of the nine-lot townhome Jetty View subdivision. The new construction development was carefully planned to align with the City's Comprehensive Plan and adheres to land use designations and zoning regulations specified in the plan.
2. The townhomes have been designed to blend with the existing neighborhood with consideration given to noise, traffic, and visual aspects.
3. The development project included half street improvements along 4th and Jetty to accommodate traffic.
4. The development project also included utility improvements and extensions.
5. Prior to construction, the Site Design Review and Preliminary Plan were approved to build the Jetty View subdivision.
6. The site provides adequate space for buildings, parking, landscaping, and utilities, with setbacks and buffers in compliance with City ordinances.
7. The site's location is suitable for residential townhomes, beautifies the Hammond Marina area, and provides need short- and long-term housing.

STAFF FINDING: The criteria in this section are met.

CONCLUSIONS AND RECOMMENDATION

The applicant has demonstrated that the proposed vacation rental satisfies the conditional use permit criteria to be in the C-MU Commercial Mixed Use zoning district. Accordingly, staff recommends approval of the request with the following conditions:

1. Submit a complete Short Term Rental (Homestay Lodging) application within 180 days of the approval of CUP-24-6.
2. The structure shall comply with all applicable provisions of Chapter 8.24 Homestay Lodging Standards while being used as a vacation rental.
3. All tenants shall be advised by the property owner(s) that the Warrenton Police Department will strictly enforce violations of city code, disturbances, or disorderly conduct, and owners will be notified of all issues.

RECOMMENDED MOTION

“Based on the findings and conclusions of the May 9, 2024, staff report, I move to approve CUP-24-6 subject to the conditions of approval included in the staff report.”

ATTACHMENTS

1. Application
2. Police Chief's Comments



City Of Warrenton
Planning Department
Conditional Use Permit
WMC 16.220

OFFICE USE	FEE \$1,000
	File# CUP - _____ - _____
	Date Received _____
	Receipt# _____

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate throughout a zoning district or without restrictions in that district, but would be beneficial to the City if their number, area, location, design, and relation to the surrounding property are controlled. A property owner or designated representative may initiate a request for a conditional use by filing an application with the Planning Department according to the requirements of Section 16.208.050. In addition, the applicant shall provide any related plans, drawings, and/or information needed to provide background for the request.

Property

Address: _____

Tax Lot (s): _____


Zone: _____ Flood Zone: _____ Wetlands: _____

Applicant

Name (s): _____

Phone: _____ E-Mail Address: _____

Mailing Address: _____


Applicant Signature(s):  _____ Date: _____

Property Owner (if different from applicant)

Name (s): _____

Phone: _____ E-mail Address: _____

Mailing Address: _____

Owner's Signature:  _____ Date: _____

I am a record owner of property (person(s) whose name is on the most recently-recorded deed), or contract purchaser with written permission from the record owner and am providing my signature as written authorization for the applicant to submit this application.

Description of Proposed Land Use

Conditional Use Permit Review Criteria

Please provide written responses to each of the criteria below that clearly explain how your proposal meets each item. Attach a separate piece of paper if needed. Be as specific as possible. "Yes" and "No" responses are not sufficient.

WMC 16.220.030

1. The proposed use is in conformance with the Comprehensive Plan.

2. The location, size and design, and operating characteristics of the proposed use are such that the development will be compatible with, and have a minimal impact on surrounding properties.

3. The use will not generate excessive traffic, when compared to traffic generated by uses permitted outright, and adjacent streets have the capacity to accommodate the traffic generated.

4. Public facilities and services are adequate to accommodate the proposed use.

5. The site's physical characteristics, in term of topography, soils and other pertinent considerations are, are appropriate for the use.

6. The site has an adequate area to accommodate the proposed use. The site layout has been designed to provide for the building, parking, landscaping, driveway, on-site circulation, public areas, loading areas, storage facilities, setbacks, buffers, and utilities which are required by City ordinances.

7. The use is appropriate at the proposed location. Several factors which should be considered in determining whether or not the use is appropriate include: accessibility for users (such as customers and employees); availability of similar existing uses; availability of other appropriately zoned sites; and the desirability of other suitably zoned sites for the intended use.

Submittal Checklist

Applicants shall submit all of the following items on a site plan along with the application form. The site plan shall contain the following information:

- The proposed development site, including boundaries, dimensions, and gross area drawn to scale.
- Natural land features identified which are proposed to be removed or modified by the development, including modifications to existing drainage patterns, if any.
- The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements, if any
- The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan.
- The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access, if being modified by the application.
- The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable), and proposed paving materials.
- Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails.
- Loading and service areas for waste disposal, loading and delivery, if any
- Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements.

- Location, type, and height of outdoor lighting.
- Locations, sizes, and types of signs (shall comply with Chapter 16.144).
- The Planning Department may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, site drainage, natural hazards, etc.).
- The applicant's entire tax lot and the surrounding property to a distance sufficient to determine the location of the development in the City, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions and gross area shall be identified.
- Identification of slopes greater than 10%.
- Any areas identified as located in a designated floodplain and/or floodway, if any
- Depict any wetland and riparian areas, streams and/or wildlife habitat areas, if any.
- Site features such as pavement, areas having unique views, and drainage ways, canals and ditches, if any.
- Any designated historic and cultural resources areas on the site and/or adjacent parcels or lots.
- North arrow, scale, names and addresses of all property owners.
- Name and address of applicant, project designer, engineer, architect, surveyor, and/or planner, if applicable.
- Letter or narrative report documenting compliance with the applicable approval criteria including the conditional use criteria, zoning development standards, and applicable design standards. Please see the Planning Staff for applicable design standards.

This application will not be officially accepted until department staff have determined that the application is completely filled out, signed, the application fee has been paid, and the submittal requirements have been met.

Re: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Mathew Workman <mworkman@warrentonoregon.us>

Wed 4/24/2024 2:34 PM

To:Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Cc:Matthew Ellis <mellis@warrentonoregon.us>;Esther Moberg <emoberg@warrentonoregon.us>;Public Works <publicworks@warrentonoregon.us>;Fire Chief <firechief@warrentonoregon.us>;Brett Estes <Brett.ESTES@dlcd.oregon.gov>;Building Clerk <building@warrentonoregon.us>

Rebecca,

I have reviewed the four Conditional Use Permit applications for Vacation Rentals on Fourth Avenue in Hammond. Here are my comments:

My first and predominant concern is parking and traffic flow issues. The application for 976 Fourth Ave. states, "*our unit has 4 parking spaces, we will limit the number of vehicles to help reduce excessive traffic flow and parking.*" The applications for 960, 964, & 968 do not mention the number of spaces for each but states, "*The site provides adequate space for buildings, parking,...*"

In visiting the site, I am not sure where the "four spaces" comes from but assume the applicant means the two spaces in the garage and the two spaces in the driveway outside of the garage. The application for 976 also states, "*There is also additional on-street parking on fourth avenue for guests.*" **This is true, but keep in mind that Fourth Ave. is one-side parking only with room for one vehicle comfortably in front of each address and two vehicles bumper to bumper, depending on the type of vehicle.**

I appreciate the statement by the applicant for 976 that they "will limit the number of vehicles" but this statement is not made by the applicant for 960, 964, & 968. The sheer size of these units, 4-bedroom townhomes, could and will attract large groups that have the potential to have more than four vehicles and with guests, the potential for many more vehicles.

I would like to see conditions or requests made for both applicants to have plans or rules in place to limit the number of vehicles and restricting the parking of any vehicles in any areas not designated for vehicles (yards, alley, gravel on the north side of the street, Hammond Marina property unless they pay for daily parking, other people's property, etc.), and letting renters know that parking codes will be enforced on the public street, including the possibility of having a vehicle towed.



Renter Conduct: though the applicants do not fully control the behavior of renters, they should have rules or let their renters know that violations of city code, disturbances, or disorderly conduct will be strictly enforced by the WPD, and owners will be notified of all issues. Hopefully, the owner will reserve the right to terminate a rental for serious problems or issues, just like our hotels and motels will do.

If you have any questions please let me know.

Chief Workman

Mathew J. Workman, Chief of Police
Warrenton Police Department
225 S. Main Ave. / P.O. Box 250
Warrenton, OR 97146

503-861-2235 (Office)
503-861-2863 (Fax)
503-791-9995 (Work Cell)
Facebook: "Warrenton Police Department"
X / Twitter: "WarrentonPD"
<http://www.warrentonoregon.us/police>

This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.

From: Rebecca Sprengeler <rsprengeler@warrentonoregon.us>

Sent: Tuesday, April 23, 2024 9:30 AM

To: Esther Moberg <emoberg@warrentonoregon.us>; Mathew Workman <mworkman@warrentonoregon.us>; Fire Chief <firechief@warrentonoregon.us>; Public Works <publicworks@warrentonoregon.us>; Building Clerk <building@warrentonoregon.us>; Brett Estes <Brett.ESTES@dlcd.oregon.gov>

Cc: Matthew Ellis <mellis@warrentonoregon.us>

Subject: Public Hearing Notice | Short Term Rentals: CUP-24-3, CUP-24-4, CUP-24-5, CUP-24-6

Good morning,

We have received four Conditional Use Permit applications for Vacation Rentals in the CMU zone at 960 Fourth Avenue, 964 Fourth Avenue, 968 Fourth Avenue, and 976 Fourth Avenue in Hammond. Public notices have been mailed and the hearings are scheduled before the Planning Commission on Thursday, May 9, 2024, at 6:00 pm. The Planning Department is requesting that if you have any comments on this application, they be provided to us no later than noon on Thursday, May 2, 2024.

The application files can be viewed online here: <https://www.warrentonoregon.us/ced/page/applications-pending-approval>

If your department uses Accela, a review task has been assigned to you for comments or to be marked "no comments."

These applications include record numbers: 917-24-000017-PLNG, 917-24-000019-PLNG, 917-24-000020-PLNG, and 917-24-000021-PLNG.



Thank you,

Rebecca Sprengeler

Planning Technician

Office: 971-286-2025
P.O. Box 250 | 225 S Main Ave
Warrenton OR, 97146
warrentonoregon.us | [facebook.com](https://www.facebook.com)



“Making a difference through excellence of service”

This message may contain confidential and/or proprietary information, and is intended for the person/entity to which it was originally addressed. If you have received this email by error, please contact the City and then shred the original document. Any use by others is strictly prohibited.



AGENDA MEMORANDUM

TO: Warrenton Planning Commission
FROM: Matthew Ellis, AICP, Planning Director
DATE: May 9, 2024
SUBJ: Updates to the Planning Application Fee Schedule

SUMMARY

Staff began an assessment of our fee schedule in fall 2023 to ensure we were charging fees in line with our neighboring planning departments. Attached, you will find a proposed fee schedule in addition to the research conducted by the department.

The Planning Commission's recommendation on this item will be forwarded to the City Commission.

RECOMMENDATION/SUGGESTED MOTION

"I move to recommend to the City Commission the proposed Planning Application Fee Schedule."

FISCAL IMPACT

There are no fiscal impacts of the proposed code ordinance as fees are paid for permits and/or review services as needed to facilitate development.

Exhibit A Planning Application Fee Schedule Effective July 1, 2024	Amount
Address Assignment (per lot)	\$50
Annexation	\$1,500
Appeals	
Planning Commission	\$500
City Commission	\$500
Comprehensive Plan Amendment	\$2,000
Conditional Use Permit	\$1,000
CRESO Review	AC
Development Code Text Amendment	\$1,500
Engineering Review (Development)	AC
Food Cart Permit	\$200
Floodplain Development Permit	\$350
Grading/Drainage Permit	\$100
Hearings Officer	AC, \$5,000 deposit
Homestay Lodging Permit and Inspection	\$500
Home Occupation – Type II	\$200
Land Use Compatibility Statement (LUCS)	\$75
License to Occupy	\$250
Lot Line Adjustment	\$150
Modification of Approved Plans or Conditions	
Type II	\$500
Type III/Type IV	\$750
Permit Extension	25% of Original Cost, capped at \$500
Recording with Clatsop County Clerk	AC
Residential Poultry Permit and Inspection	\$150
Pre-Application Conference	\$150
Reinspection	\$50
Residential Structure (Primary and Accessory)	\$150
Rezone	\$2,000
Shipping Container Permit and Inspection	\$150
Sign Review	\$100
Site Design Review	
Food Cart Pod	\$250
Type II	\$500
Type III	

10,000 sf - 20,000 sf	\$1,000
20,001 sf - 30,000 sf	\$1,500
30,001 sf or larger	\$2,000
Street Vacation	
Type II	\$750
Type III	\$1,000
Subdivisions	
Land Partition	\$500
Planned Unit Development	\$1500+50/lot
Plat, Preliminary	\$1,000 +50/lot
Plat, Final	\$750
Plat Vacation	\$750
Temporary Use/Structure	\$300
Urban Growth Boundary Amendment	\$2,000+AC
Variance	
Class 1 Administrative	\$500
Class 2 Planning Commission	\$1,000
Wetland Significance Determination Amendment	\$1,000+AC
Wireless Communication Facility	\$3,000+AC
Zoning Verification Letter	\$150

Planning Application Fee Schedule	Current	Proposed
Accessory Dwelling Unit	\$100	
Accessory Structure	\$100	
Address Assignment (Per lot)	\$25	\$50
Annexation	\$1,250	\$1,500
Appeals		
Planning Commission	\$500	No Change
City Commission	\$500	No Change
Code Interpretation	\$250	\$250
Comprehensive Plan Map Amendment	\$2,000	\$1,000+AC
Comprehensive Plan Text Amendment	\$2,000.00	\$1,000+AC
Conditional Use Permit	\$1,000	No Change
CRESO Review	AC	No Change
Development Code Text Amendment	\$1,500.00	\$1,000+AC
Engineering Review (Development)	AC	No Change
Food Cart Permit	\$300 (Temporary Use)	\$200
Floodplain Development Permit	\$350	No Change
Grading/Drainage Permit		\$100
Homestay Lodging Permit and Inspection	\$150	\$500
Hearings Officer	AC, \$5,000 deposit	No Change
Historic Resource Review	\$500	
Home Occupation – Type II	\$350	\$200
Land Use Compatibility Statement (LUCS)	\$50	\$75
License to Occupy	\$150	\$250
Lot Line Adjustment	\$150	No Change
Modification of Approved Plans or Conditions		
Type II	\$400	\$500
Type III/Type IV	\$750	No Change
Non-Conforming Use Review	\$500	
Permit Extension	10% of Original Cost	25% of Original Cost, capped at \$250
Residential Poultry Permit	\$150	No Change
Plan Review (Type I) – 2nd Review	\$50	
Pre-Application Conference	\$150	No Change
Reinspection	10% of Original Cost	25% of Original Cost, capped at \$100
Residential Structure Permit Review		\$150
Rezone	\$2,000	\$2,000+AC
Shipping Container Design Review		\$300
Sign Review	\$300	\$100

Site Design Review		
Food Cart Pod	\$500 (Type II)	\$250
Type II	\$500	\$500
Type III		
10,000 sf - 20,000 sf	\$750	\$1,000
20,001 sf - 30,000 sf	\$1,300	\$1,500
30,001 sf or larger	\$1,750	\$2,000
Street Vacation		
Type II	\$750	No Change
Type III	\$1,000	No Change
Subdivisions		
Land Partition	\$600	\$500
Planned Unit Development	\$1500+50/lot	No Change
Plat, Preliminary	\$750+30/lot	\$1,000 +50/lot
Plat, Final	\$500	\$750
Plat Vacation	Same as Plat	No Change
Temporary Use/Structure	\$300	No Change
Urban Growth Boundary Amendment	\$2,000+AC	No Change
Variance		
Class 1 Administrative	\$500	No Change
Class 2 Planning Commission	\$1,250	\$1,000
Wetland Significance Determination Amendment	\$1,000 or AC	No Change
Wireless Communication Facility	\$3,000+AC	No Change
Zoning Verification Letter	\$50	\$150

New	Remove	Charging above average	Charging below average	Charging same				
Land Use Fee Comparison 23-24								
	Astoria	Seaside	Gearhart	Average	Warrenton	Difference	Jay's Proposed	Notes
5% Technology Fee					5% of total permit fees			*not compared to other jurisdictions - check with Jessica Barrett if this is needed? I think the original purpose of this was to cover the cost of the program, but this may be covered by the Building Dept. tech fee
Accessory Dwelling Unit	\$100.00			\$100.00	\$100.00	\$0.00		Not currently used per Jay - should we continue to use or capture in the general site plan review fee?
Accessory Structure Review					\$100.00	\$100.00		Not currently used per Jay - should we continue to use or capture in the general site plan review fee?
Address Assignment (per lot)					\$25.00	\$25.00	\$50.00	
Amendment - Comprehensive Plan (Map)		\$1,400.00	\$3,500.00	\$2,450.00	\$2,000.00	-\$450.00	\$1,000 + AC	
Amendment - Comprehensive Plan (Text)	\$750.00	\$1,400.00	\$3,500.00	\$1,883.33	\$2,000.00	\$116.67	\$1,000 + AC	
Amendment - Urban Growth Boundary					\$2,000 + actual cost			
Amendment - Wetland Significance Determination					\$1,000 or actual cost			
Amendment - Zoning Ordinance / Development Code	\$750.00	\$1,400.00	\$3,500.00	\$1,883.33	\$1,500.00	-\$383.33	\$1,000 + AC	
Annexation			\$3,500.00	\$3,500.00	\$1,250.00	-\$2,250.00	\$1,500.00	
Appeals - Administrative	\$500.00	\$580.00	\$300.00	\$460.00	\$500.00	\$40.00	\$300.00	
Appeals - Planning Commission	\$500.00	\$625.00	\$2,000.00	\$1,041.67	\$500.00	-\$541.67	\$750.00	
Code Interpretation					\$250.00	\$250.00		
Conditional Use Permit - PC	\$500.00	\$675.00	\$2,000.00	\$1,058.33	\$1,000.00	-\$58.33	\$750.00	
CRESO Review (Columbia River Estuary Shorelands)					Actual Cost			
Engineering Review					Actual Cost			**** Cost of a city - appointed Engineer shall be paid for by the applicant(s) / developer"
Floodplain Development Permit		\$40.00		\$40.00	\$350.00	\$310.00		Covers Gail's time \$96.32/hour
Grading, Drainage, Erosion Control	\$110.00			\$110.00		-\$110.00		We need a grade/fill/etc fee.
Hearings Officer					\$5,000 deposit			
Historic Resource Review					\$500.00	\$500.00		No clue what this is for
Home Occupation	\$200.00			\$200.00	\$350.00	\$150.00		
Land Use Compatibility Statement			\$45.00	\$45.00	\$50.00	\$5.00	\$75.00	

License to Occupy						\$150.00	\$150.00	\$250.00	This should be a PW fee for okay to use ROW, not for Planning to decide
Lot Line Adjustment	\$50.00	\$140.00	\$150.00	\$113.33		\$150.00	\$36.67	\$250.00	
Miscellaneous Land Use Request	\$200.00		\$200.00			\$350.00	\$150.00		WE SHOULD NOT HAVE THIS "CATCH ALL" FEE
Modification of Plans or Conditions - Admin	Same as existing permit fee					\$400.00	\$400.00	\$500.00	
Modification of Plans or Conditions - PC						\$750.00	\$750.00	\$750.00	
Non-Conforming Use / Structure Review		\$675.00		\$675.00		\$500.00	-\$175.00		
Partition	\$300 + actual costs		\$2,000 + \$100/lot			\$600.00		\$500.00	If not vacant land, same as with improvements
Partition - Final Plat Review						\$300.00	\$300.00	\$500.00	
Permit Extension Request	\$100.00		\$150.00	\$125.00	10% of original application			25% of application fee	
Plan Review (Type 1) - 2nd Review						\$50.00			*remove and replace with general site plan review
Planned Unit Development	\$5,000 + actual costs	\$670.00		\$670.00	\$1,500 / + \$50 /lot			\$1,500 / + \$50 /lot + AC	
Planned Unit Development - Final Plat Review						\$600.00	\$600.00		
Poultry							\$0.00	\$250.00	*Esther recommended lowering to \$100 to make it more accessible
Pre-Application Conference	\$150.00	\$160.00		\$155.00		\$150.00	-\$5.00		
Reinspection					10% of original fee				We don't have any inspection fees...
Rezone						\$2,000.00	\$2,000.00	\$2,000 + AC	
Shipping Container						\$300.00			
Short Term Rental	\$500.00			\$500.00		\$150.00	-\$350.00	\$250.00	
Short Term Rental - Permit Renewal	\$150.00			\$150.00			-\$150.00	\$50.00	*this needs a code change
Sign Permits			\$100.00	\$100.00		\$300.00	\$200.00		
Site Design Review - Administrative	\$220.00			\$220.00		\$500.00	\$280.00		
Site Design Review - PC (10,000sf - 15,00sf)						\$750.00	\$750.00	\$1,000.00	Combine 10,000-20,000
Site Design Review - PC (15,001sf - 20,000sf)						\$1,000.00	\$1,000.00		
Site Design Review - PC (20,001sf - 25,000sf)						\$1,300.00	\$1,300.00	\$1,500.00	20,001-30,000
Site Design Review - PC (25,001sf - 30,000sf)						\$1,750.00	\$1,750.00		
Site Design Review - PC (30,001sf +)						\$2,500.00	\$2,500.00	\$2,000.00	
Site Design Review - Residential (1st Review)		20% of permit fee	\$50.00	\$50.00			-\$50.00	\$150.00	

Site Design Review - Residential (2nd Review)					\$50.00	\$50.00		I think we should remove this. There's no need for a second review most of the time.
Subdivision	\$500 + \$20/lot + actual cost		\$3,000 + \$100/lot	\$1,750 + \$60/lot	\$750 + \$30/lot + actual costs	\$1,000 + \$30/lot	\$1,000 + 50/lot	
Subdivision - Final Plat					\$500.00	\$500.00	\$750.00	
Temporary Use Type 2	\$100.00	\$670.00		\$385.00	\$300.00	-\$85.00		
Vacation - Plat					\$750 + \$30/lot + actual costs			
Vacation - Street (Planning Commission)		Applicant Records	\$3,000.00		\$1,000.00	\$1,000.00		
Vacation - Street (Simple)	Actual Cost	Applicant Records	\$3,000.00	\$3,000.00	\$750.00	-\$2,250.00		Needs to increase to cover County recording costs
Short Term Rental Inspection (+1 reinspect)		\$40.00		\$40.00		-\$40.00	\$50.00	
Variance - Type 1	\$300.00	\$430.00	\$1,500.00	\$743.33	\$500.00	-\$243.33		
Variance - Type 2	\$500.00	\$670.00	\$1,500.00	\$890.00	\$1,250.00	\$360.00	\$1,000.00	
Wireless Communication Facility	\$3,000.00			\$3,000.00	\$3,000 + actual costs	\$0.00	\$3,500 + AC	
Zoning Verification Letter		\$40.00		\$40.00	\$50.00	\$10.00		