

WARRENTON WTP ROOF MODIFICATIONS

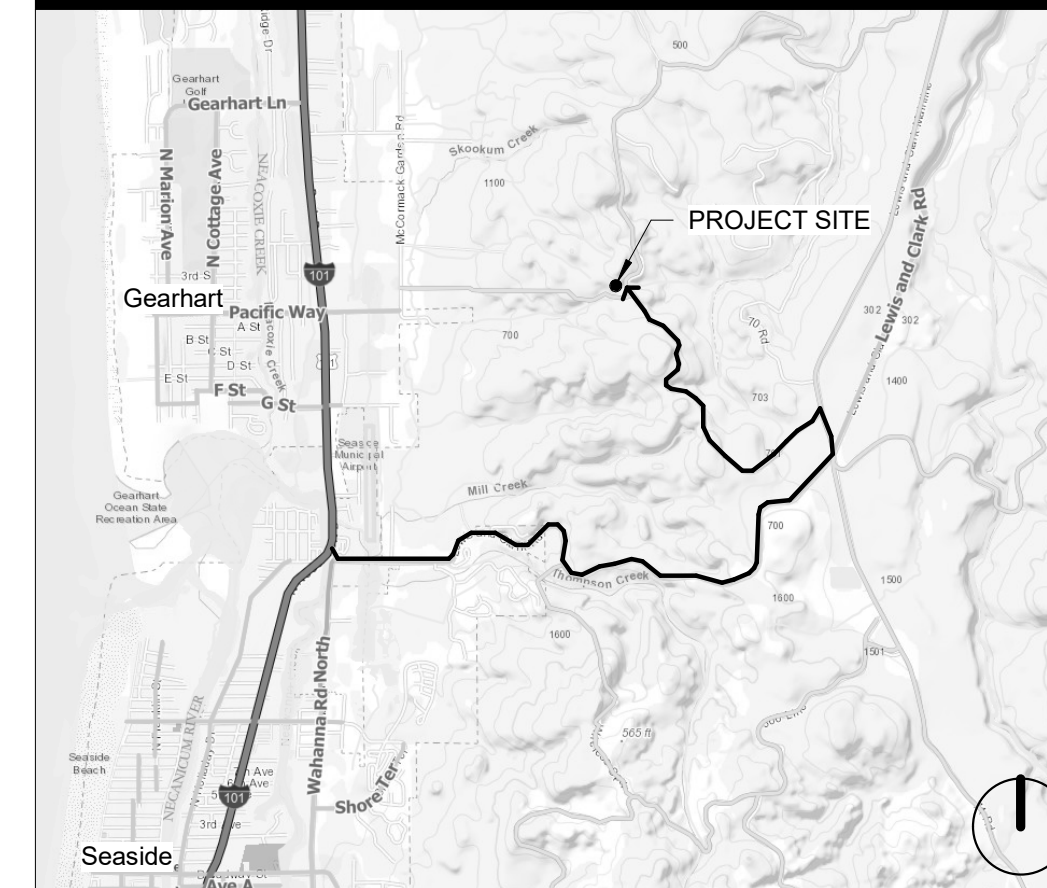
GENERAL NOTES

- COMPLY WITH ALL LOCAL JURISDICTION EROSION CONTROL REQUIREMENTS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATION PRIOR TO START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING INFORMATION SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, ALERT ARCHITECT IN WRITING IMMEDIATELY.
- CONTRACTOR SHALL ADHERE TO ALL CODES, AND REGULATIONS GOVERNING BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY FEDERAL, STATE, AND LOCAL CODES. THE JURISDICTION HAVING AUTHORITY AND THE BUILDING OWNER.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSION AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
- ALL STANDARD CONSTRUCTION SHALL CONFORM TO THE STANDARD DETAILS EXCEPT AS EXPLICITLY SUPERSEDED BY SPECIFIC DESIGN DETAILS GIVEN.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS AT ALL TIMES EXCEPT AS OTHERWISE NOTED.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C.) OR (O.F.O.I.) OR (O.F.C.I.).
- CONTRACTOR SHALL COMPLY OBTAIN AND PAY FOR ALL REQUIRED FEES, PERMITS, AND INSPECTIONS ASSESSED BY ANY GOVERNMENTAL AGENCY OR UTILITY COMPANY.
- CONTRACTOR AND HIS SUBCONTRACTOR(S) SHALL TAKE CAUTION WHEN WORKING AROUND THE EXISTING UTILITIES AND UNDERGROUND LINES.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY, DESIGN ADEQUACY AND SAFETY OR ERECTION BRACING SHORING, TEMPORARY SUPPORT, ETC. THE ARCHITECT'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF ADEQUACY OR THE CONTRACTOR'S SAFETY MEASURES.
- THE CONTRACTOR SHALL WARRANT THAT ALL MATERIALS AND WORKMANSHIP ARE IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND ALL CHANGES HAVE THE APPROVAL OF THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE TO COMPARE AND COORDINATE ALL DRAWINGS FOR PROPER FIT AND ATTACHMENT OF ALL PARTS. DETAILS NOT SHOWN, NOR DETAILED ON DRAWINGS, NOR CALLED FOR IN THESE NOTES SHALL BE CONSTRUCTED TO SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, DETAILED SPECIFICATIONS, OR COMMONLY CONSTRUCTED IN THE INDUSTRY.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL AND PLUMBING ROUGH-IN LOCATIONS FOR ANY SPECIAL EQUIPMENT WITH THE SUPPLIER OF SUCH EQUIPMENT.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THEIR SEPARATE CONTRACTORS SUCH AS WINDOWS, ETC. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND REQUIRED CLEARANCES OF THE EQUIPMENT. NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT, BLOCKED OUT, OR RELOCATED WITHOUT PRIOR APPROVAL BY THE ARCHITECT OR ENGINEER.
- THE CONTRACTOR OF EACH TRADE SHALL KEEP THE PREMISES CLEAN AT ALL TIMES AND SHALL REMOVE ALL RUBBISH AS OFTEN AS REQUIRED FOR THE CONSTRUCTION AND FOR CONVENIENCE OF THE OWNER.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION INCLUDING MEASURES NEEDED SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS DEPOSITS ONTO PUBLIC OR PRIVATE PROPERTY.
- ALL TEMPORARY BRACING AND SHORING SHALL BE DESIGNED TO SUSTAIN ALL CONTRACTION LOADS, SOIL PRESSURE, LATERAL AND OTHER LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED.
- IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICT WITH, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE SHALL NOT PROCEED WITH WORK IN QUESTION, EXCEPT AT HIS OWN RISK, UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES REGULATIONS AND ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE SUCH WORK WITH ALL NEW COMPLYING WORK AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ALL WORK SHALL BE PERFORMED IN A INDUSTRY STANDARD WORKMANSHIP MANNER.
- CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
- DIMENSIONS TO (E) ELEMENTS TO FACE OF FINISH. DIMENSIONS TO (N) ELEMENTS TO FACE OF FRAMING

ABBREVIATIONS

ABV	ABOVE
ACC	ACCESSORY
AFF	ABOVE FINISHING FLOOR
BLKG	BLOCKING
CLST	CLOSET
C.I.	CONTINUOUS INSULATION
DBL	DOUBLE
DN	DOWN
MSTR	MASTER
CL	CENTERLINE
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CONC	CONCRETE
CONT	CONTINUOUS
CPT	COMMON PATH OF TRAVEL
DEMO	DEMOLISH/DEMOLITION
DS	DOWNSPOUT
(E)	EXISTING
EQ	EQUAL
EN	END NAIL
ETD	EXIT TRAVEL DISTANCE
FLR	FLOOR
GC	GENERAL CONTRACTOR
GYP	GYPSPUM WALL BOARD
HT	HEIGHT
HR	HOOR
INFO	INFORMATION
LYR	LAYER
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
(N)	NEW
NTS	NOT TO SCALE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
OFOI	OWNER FURNISHED OWNER INSTALLED
OFCI	OWNER FURNISHED OWNER CONTRACTOR INSTALLED
PRE-MFR	PRE-MANUFACTURED
PT	PRESSURE TREATED
REQ'D	REQUIRED
(S)	SIMPSON
SFR	SINGLE FAMILY RESIDENCE
SOG	SLAB ON GRADE
T.O.	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VFY	VERIFY
V.O.S.	VERIFY ON SITE
WIN	WINDOW
WTP	WATER TREATMENT PLANT
WRB	WEATHER RESISTIVE BARRIER

VICINITY MAP



SHEET INDEX

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A1.5	ROOF PLAN
A2.0	ELEVATIONS
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A5.0	ASSEMBLIES & DETAILS

PROJECT INFORMATION

PROJECT DESCRIPTION
ROOF REPAIR / REPLACEMENT OF EXISTING 1-STORY WATER TREATMENT FACILITY.

ARCHITECT
STRONGWORK ARCHITECTURE LLC
CONTACT: ALAN ARMSTRONG
SE SHERRETT ST, UNIT A
PORTLAND, OR 97222
503.966.1816
ALAN@STRONGWORKARCHITECTURE.COM

PROPERTY OWNER
CITY OF WARRENTON
CONTACT: COLLIN STELZIG, PE
PUBLIC WORKS DIRECTOR
503.861.0912
P.O. BOX 250 | 45 SW 2ND STREET
WARRENTON, OR 97146

PROPERTY INFO
86646 LEWIS AND CLARK ROAD
SEASIDE, OR 97138

PROPERTY ID: 51304
TAX LOT: 610000000704
LOT SIZE: 5.0 AC

SQ.FT.: 11,150 SF

STORMWATER MANAGEMENT
NO CHANGE TO IMPERVIOUS AREA.

BUILDING CODE INFO
CODE APPLICABILITY:
2019 OSSC
2021 OEEESC / ASHRAE 90.1-2019

LEGEND

	NORTH ARROW
	EXTERIOR ELEVATION
	BUILDING SECTION
	SECTION DETAIL
	HORIZONTAL OR VERTICAL ASSEMBLY
	(E) WALL
	DEMO WALL
	(N) WALL
	BEAM ABOVE

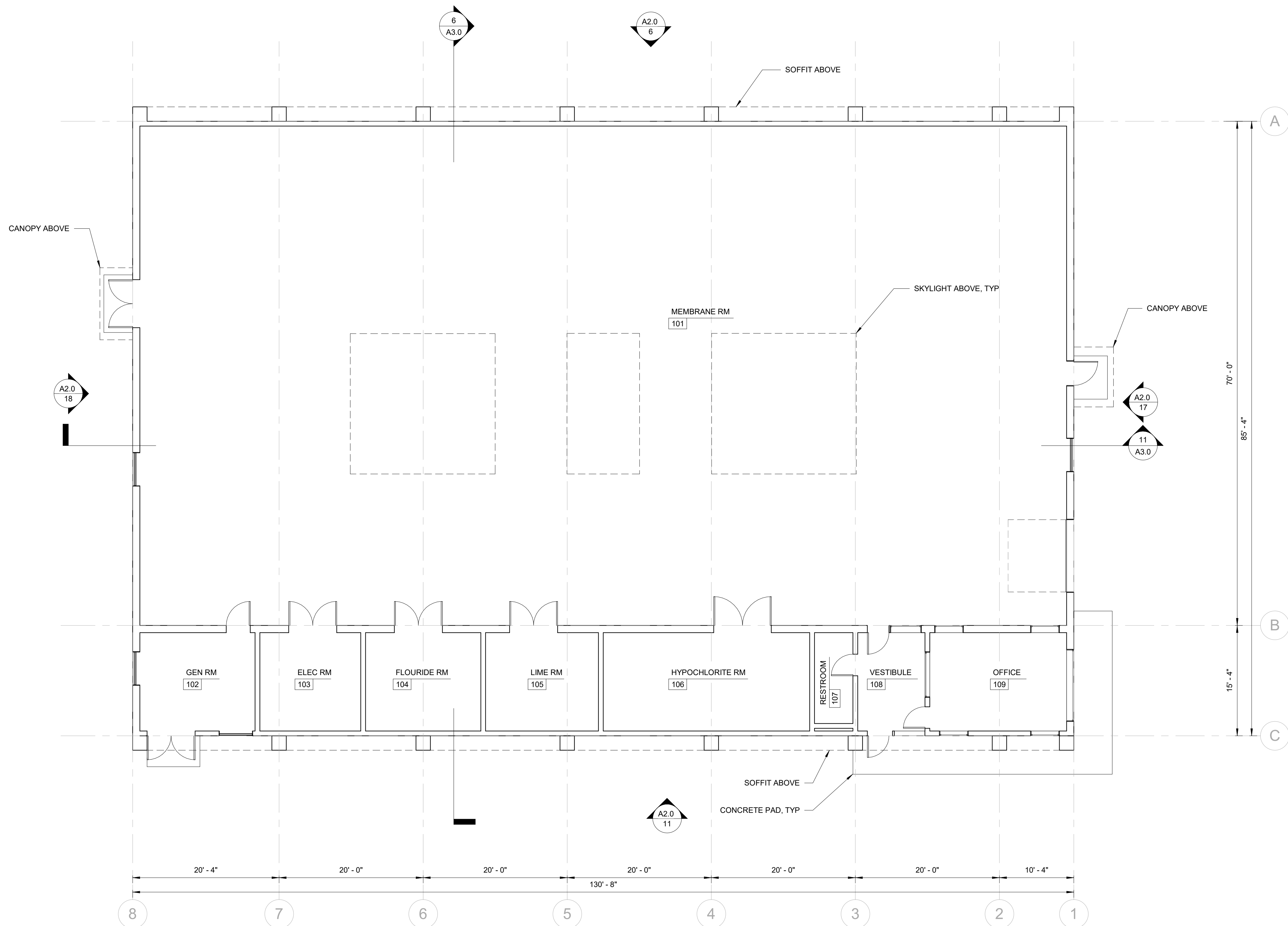
STRONGWORK ARCHITECTURE



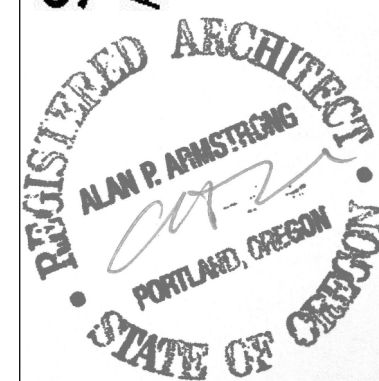
ISSUE LOG
BID DOCUMENTS
2022-07-19

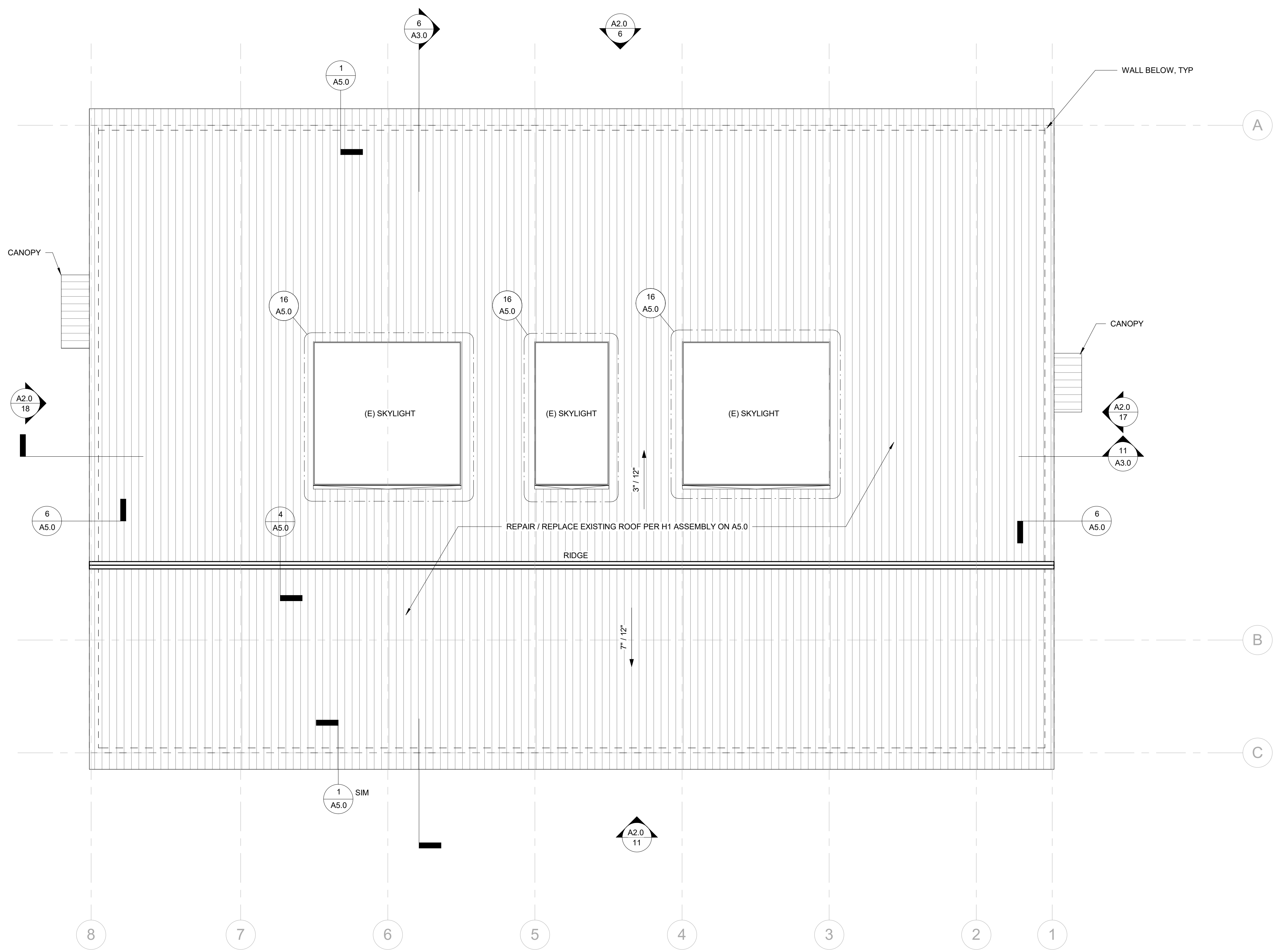
WARRENTON WTP ROOF MODS
86646 LEWIS & CLARK RD.
SEASIDE, OR 97138

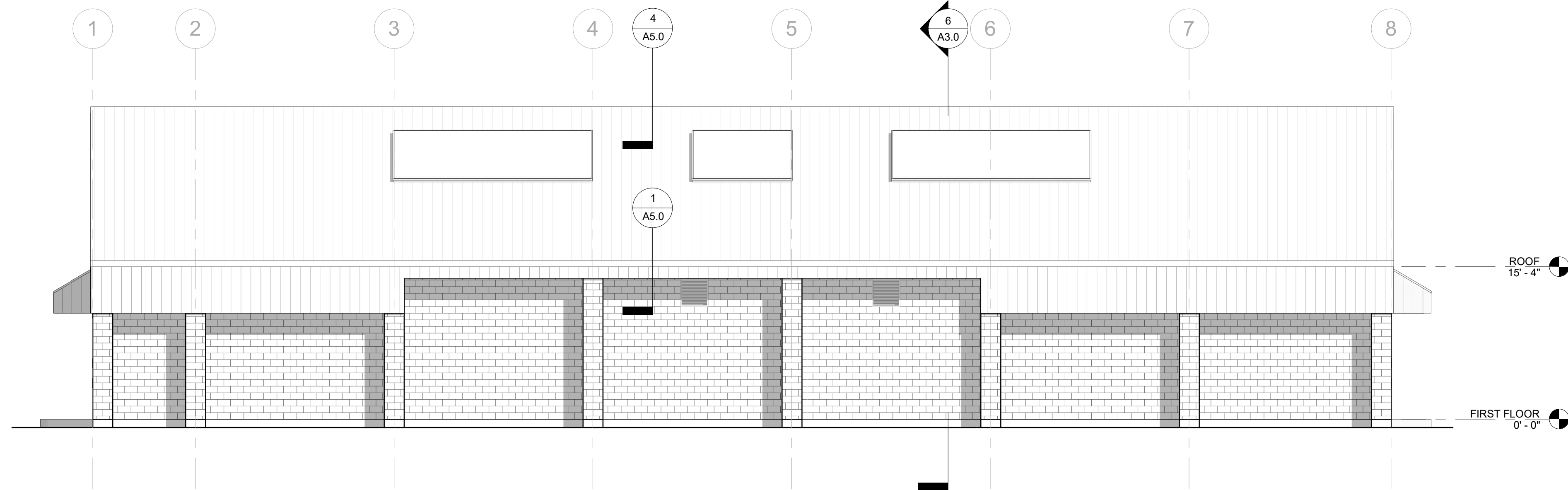
A0.0
COVER, INFO, NOTES



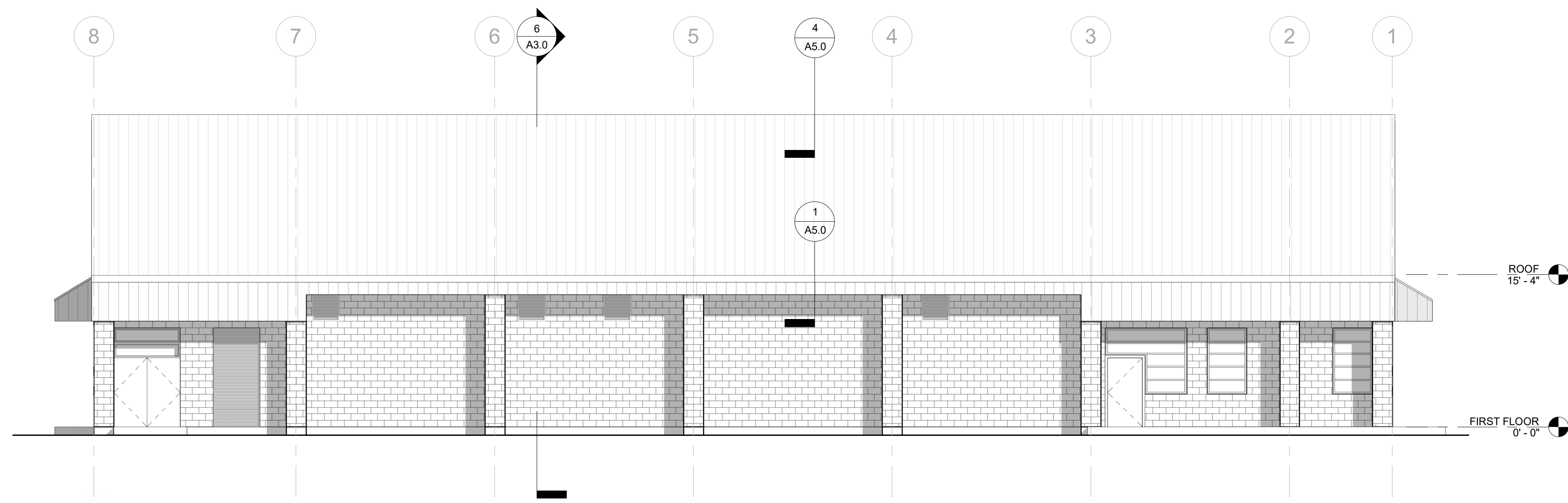
17 EXISTING FIRST FLOOR
SCALE: 1/8" = 1'-0"



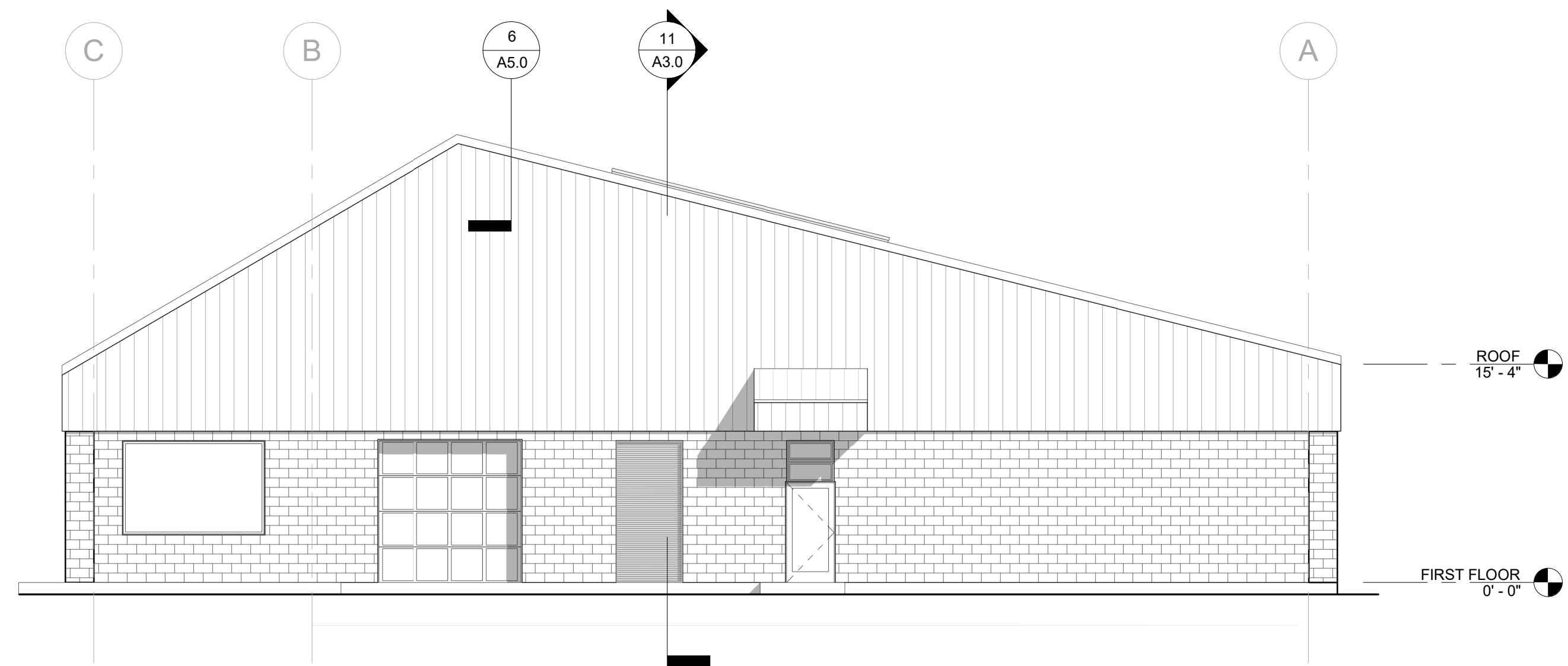




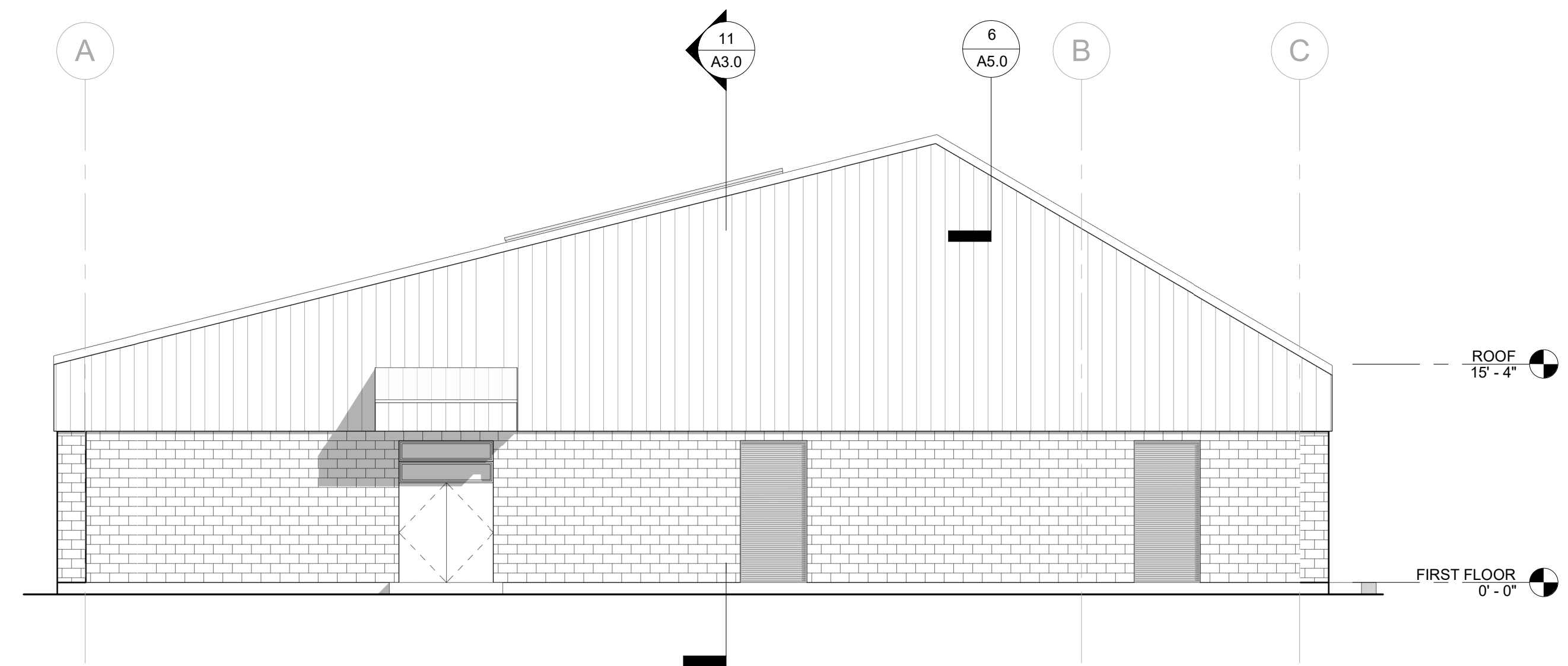
6 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



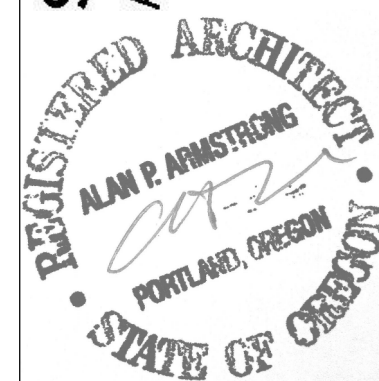
11 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

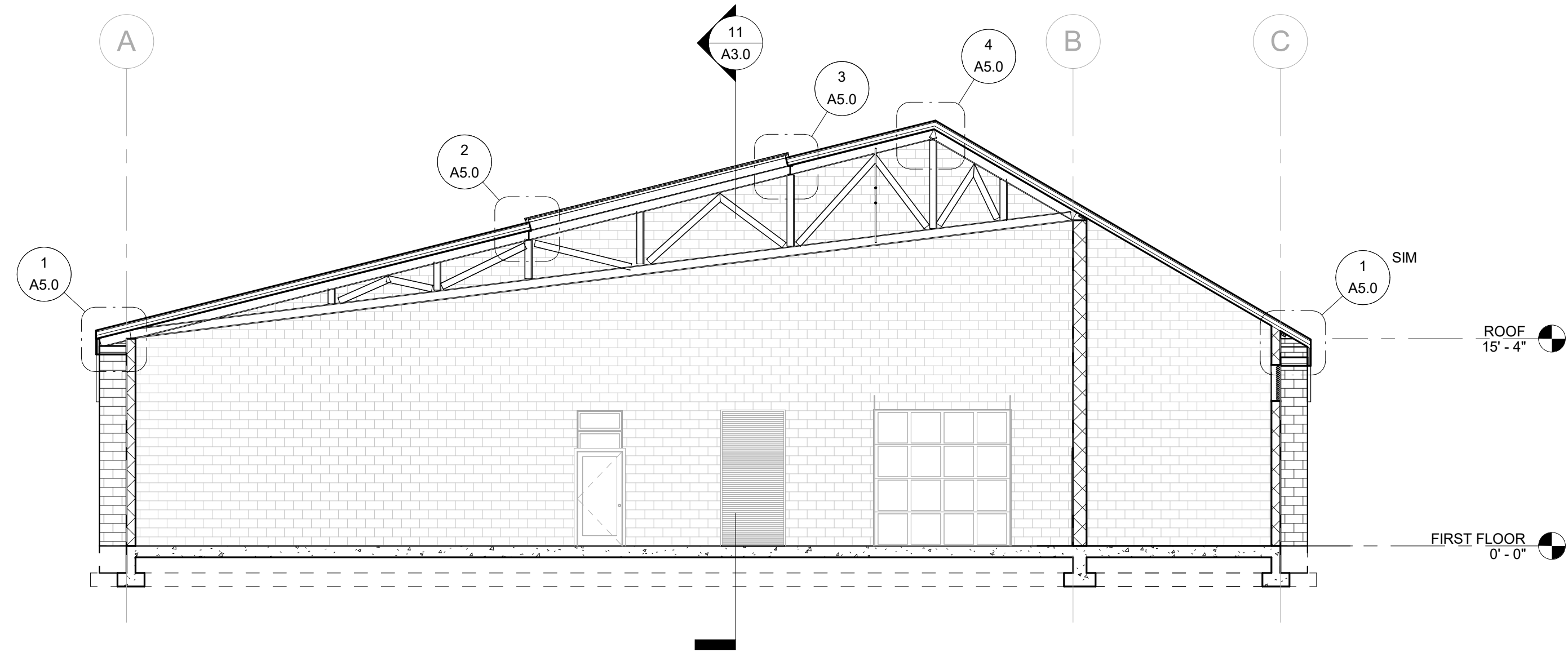


17 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"

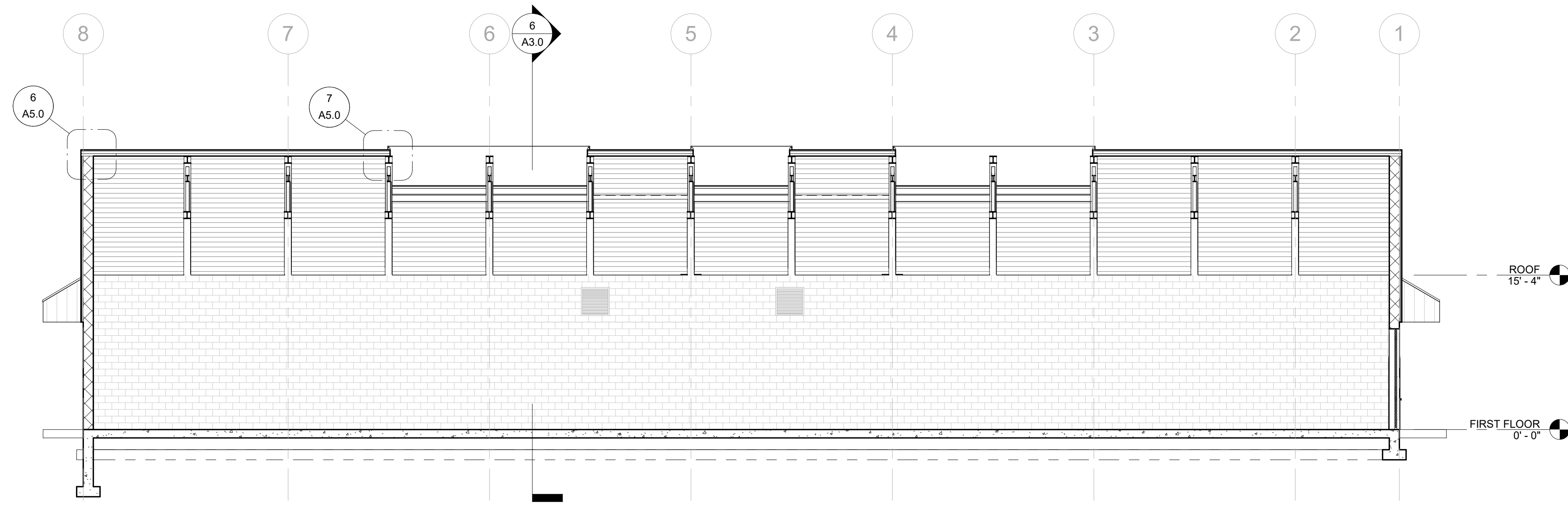


18 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"

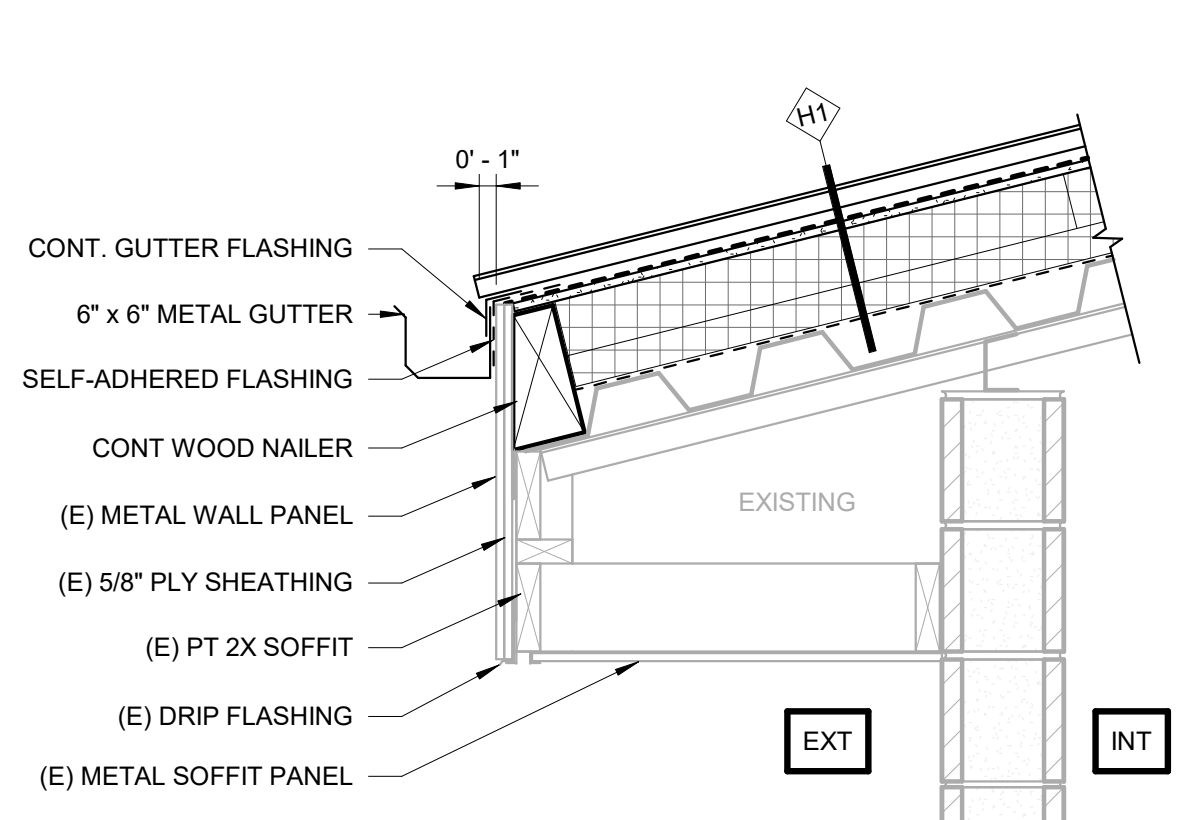




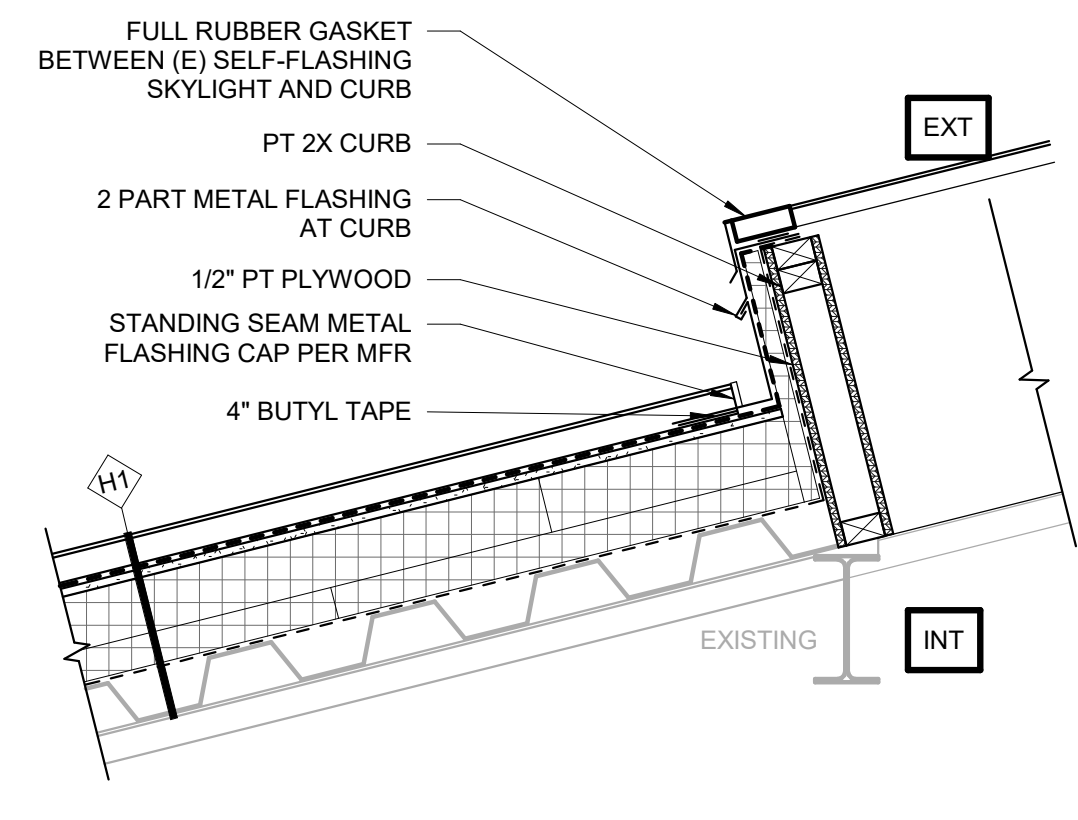
6 BUILDING SECTION - NORTH-SOUTH
SCALE: 1/8" = 1'-0"



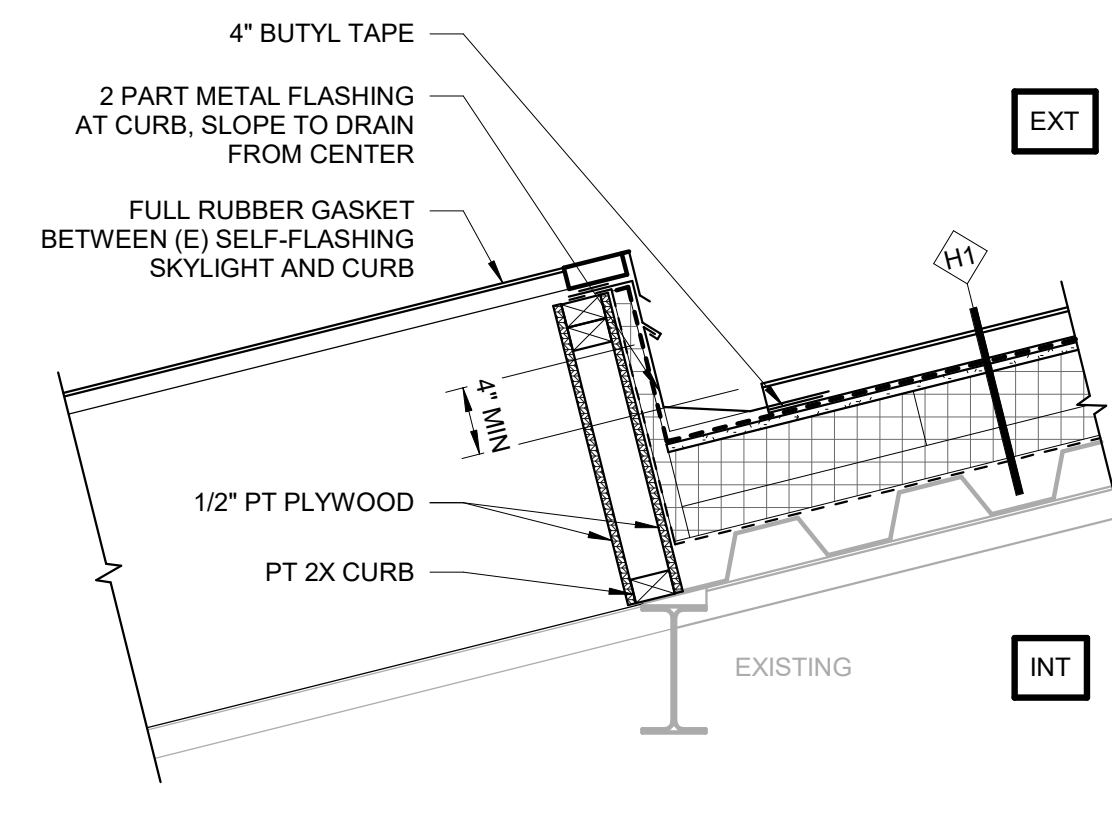
11 BUILDING SECTION - EAST-WEST
SCALE: 1/8" = 1'-0"



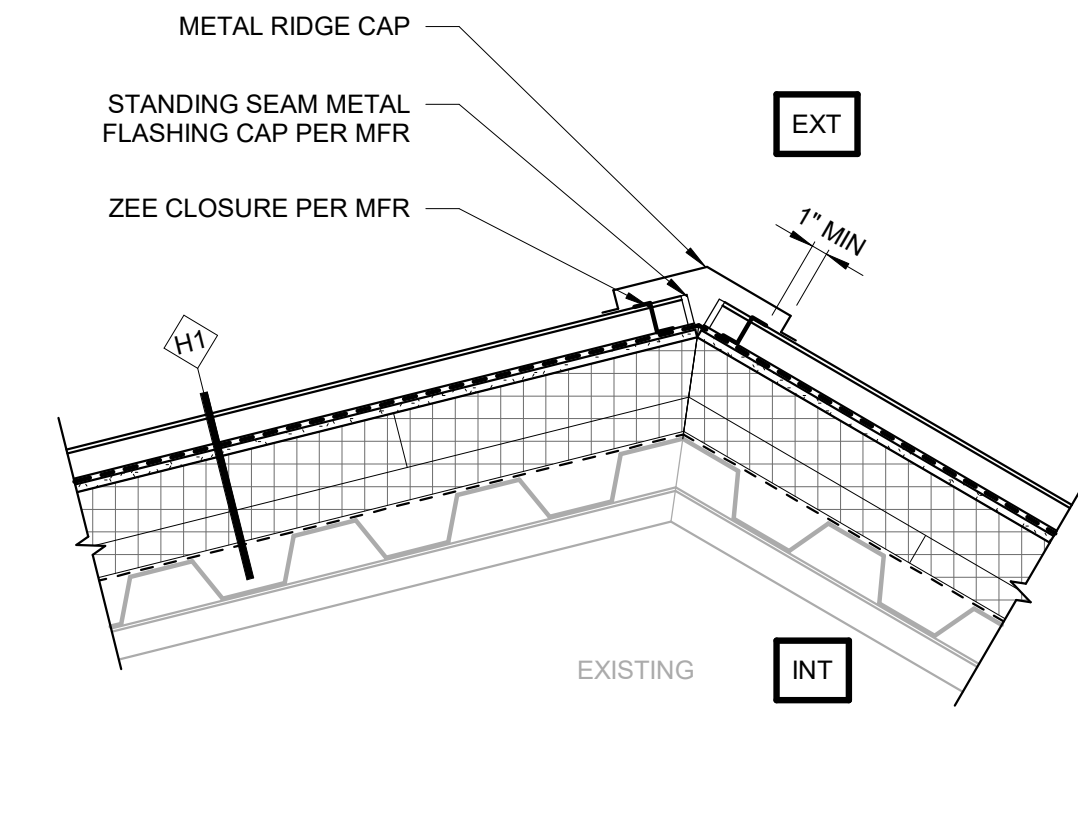
1 TYP EAVE DETAIL
SCALE: 1" = 1'-0"



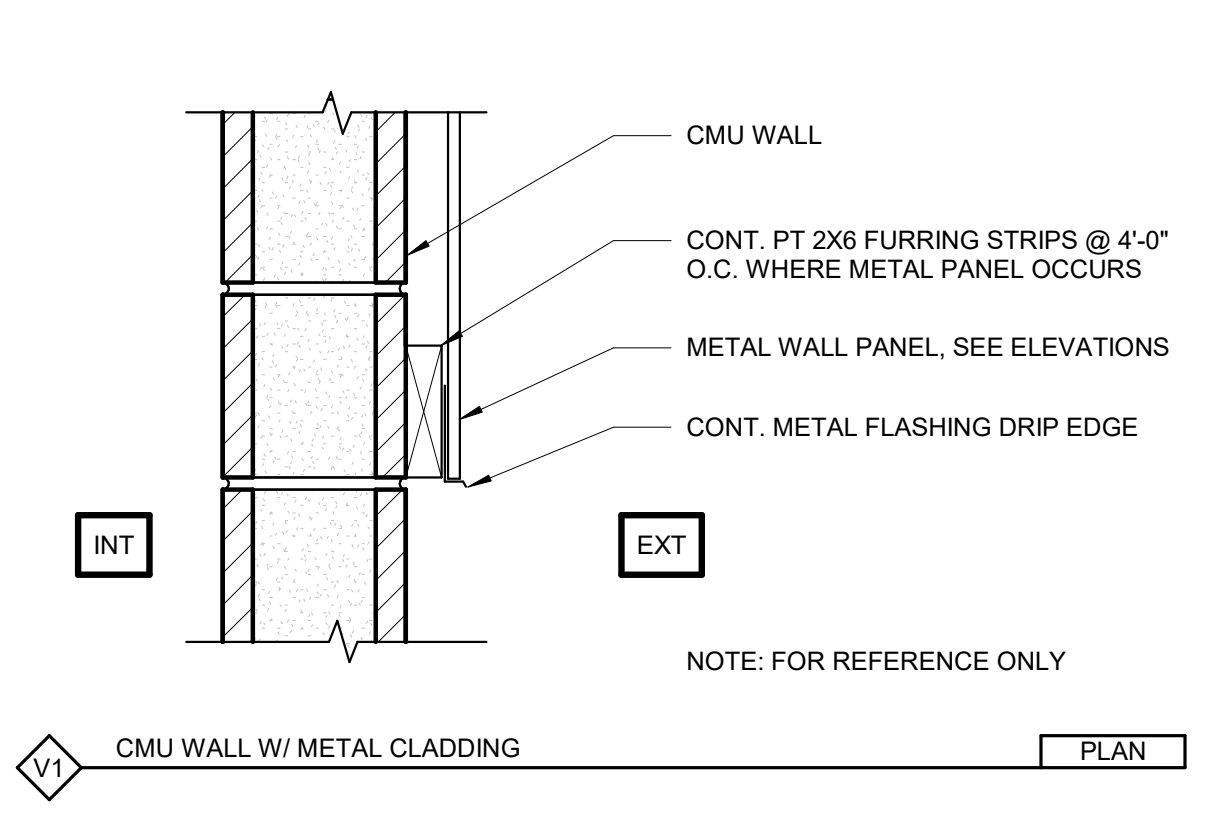
2 TYP SKYLIGHT SILL
SCALE: 1" = 1'-0"



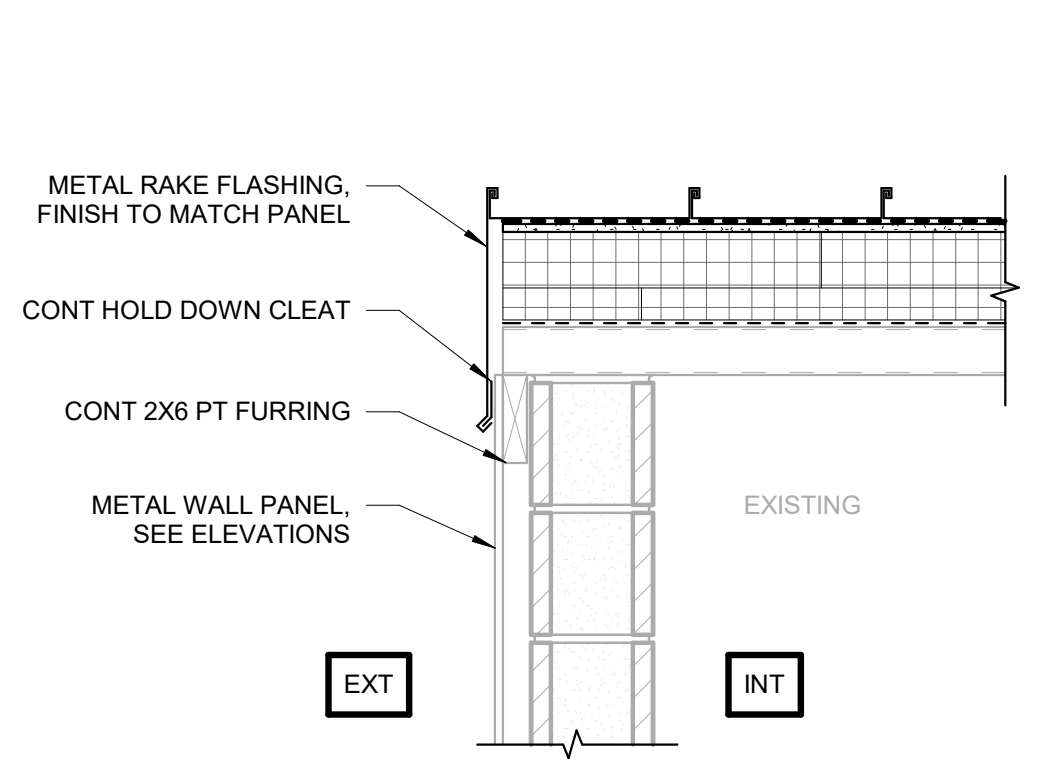
3 TYP SKYLIGHT HEAD
SCALE: 1" = 1'-0"



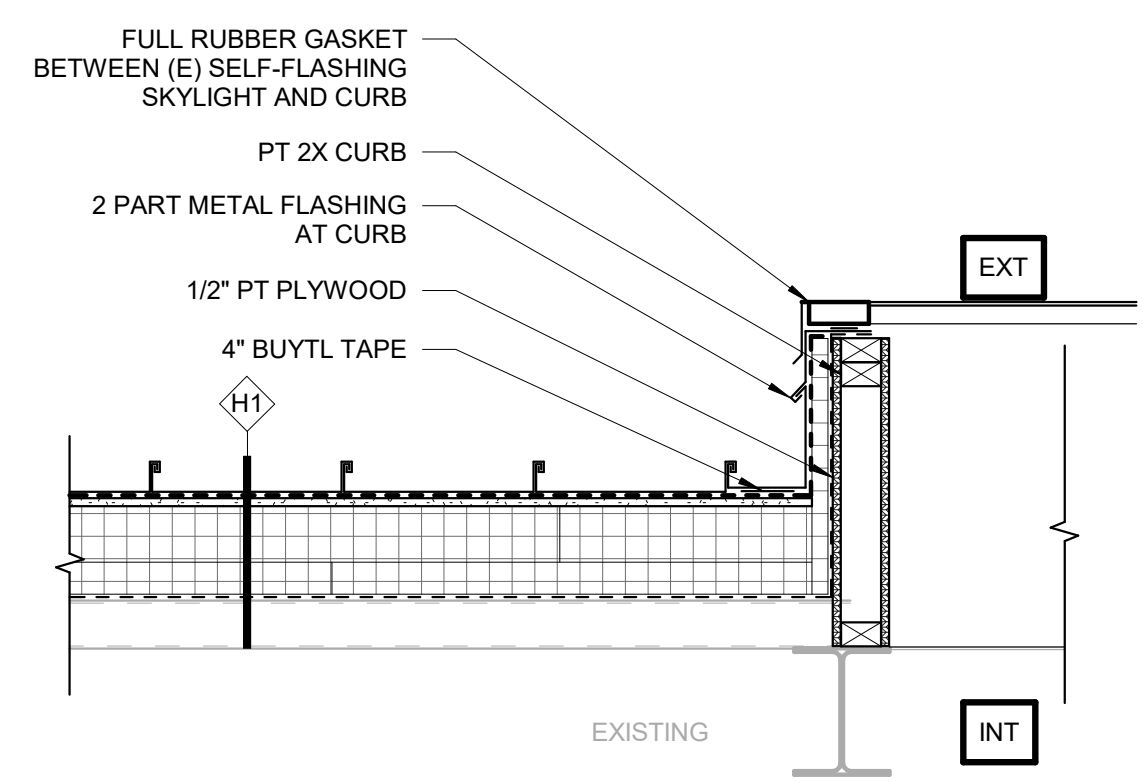
4 TYP RIDGE DETAIL
SCALE: 1" = 1'-0"



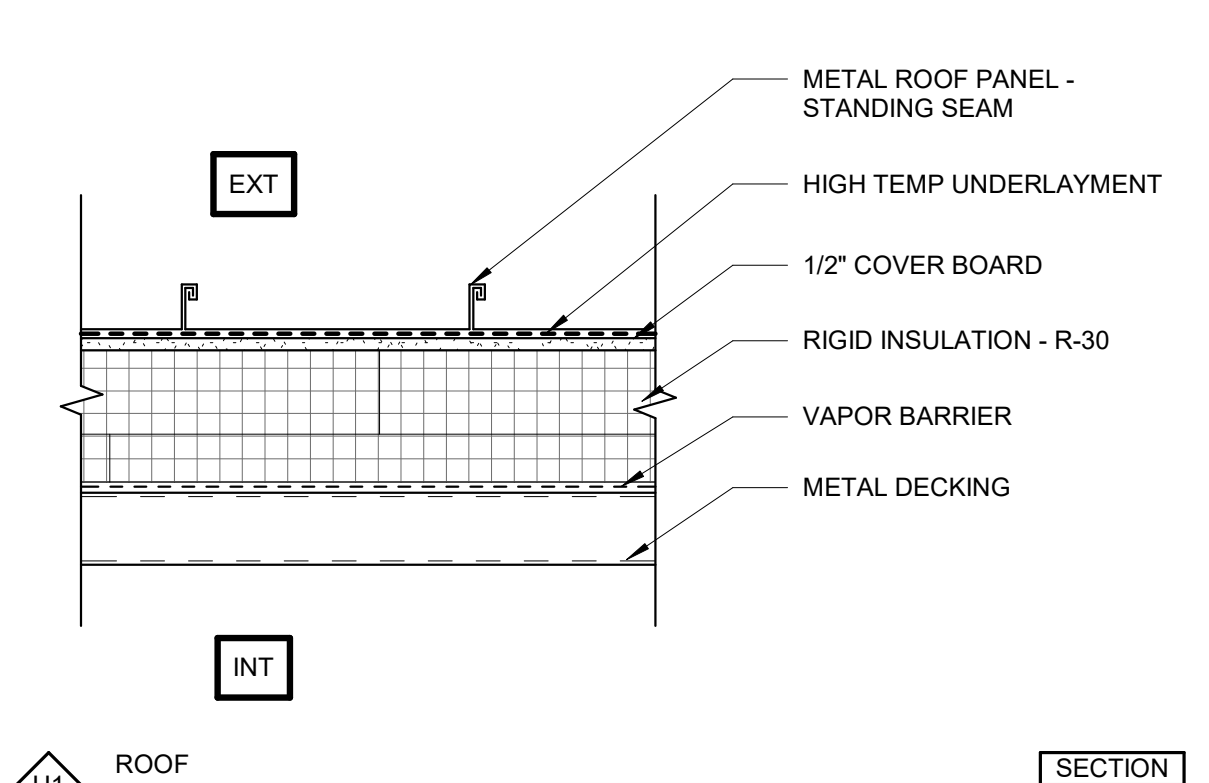
5 VERTICAL ASSEMBLIES
SCALE: 1 1/2" = 1'-0"



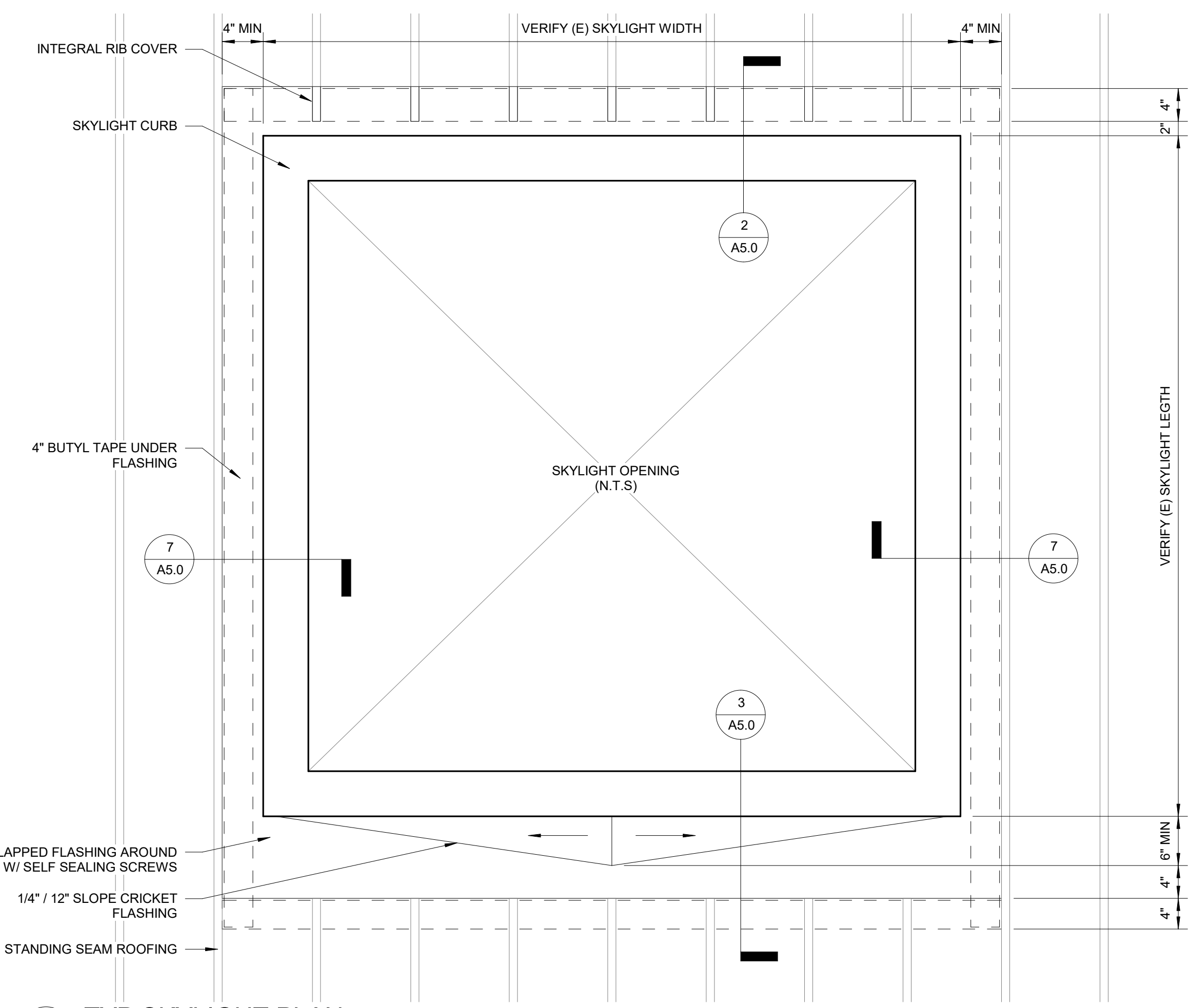
6 TYP RAKE DETAIL
SCALE: 1" = 1'-0"



7 TYP SKYLIGHT JAMB
SCALE: 1" = 1'-0"



10 HORIZONTAL ASSEMBLIES
SCALE: 1 1/2" = 1'-0"



16 TYP SKYLIGHT PLAN
SCALE: 1" = 1'-0"